



ADUR & WORTHING COUNCILS

27 November 2017

Joint Strategic Committee

Date: 5 December 2017

Time: 6:30pm

Venue: QEII Room, Shoreham Centre, Shoreham-by-Sea

Adur Executive: Councillors Neil Parkin (Leader), Angus Dunn (Deputy Leader), Carson Albury, Brian Boggis, Emma Evans and David Simmons

Worthing Executive: Councillors Daniel Humphreys (Leader), Kevin Jenkins (Deputy Leader), Edward Crouch, Diane Guest, Heather Mercer and Val Turner

Agenda

Part A

1. Declarations of Interest

Members and officers must declare any disclosable pecuniary interests in relation to any business on the agenda. Declarations should also be made at any stage such an interest becomes apparent during the meeting.

If in doubt contact the Legal or Democratic Services representative for this meeting.

2. Minutes

To approve the minutes of the Joint Strategic Committee meeting held on 7 November 2017, copies of which have been previously circulated.

3. Public Question Time

To receive any questions from members of the public.

4. Items Raised Under Urgency Provisions

To consider any items the Chairman of the meeting considers to be urgent.

5. Mid-year Review of Treasury Management 2017-18, Adur District Council and Worthing Borough Council

To consider a report from the Director for Digital & Resources, a copy is attached as item 5.

6. Sustainable Councils: 5 Year Forecast 2018/19 – 2022/23 and Savings Proposals

To consider a report from the Director for Digital & Resources, a copy is attached as item 6.

7. Investing in Service Delivery: Capital Investment Programme 2018/19 to 2020/21

To consider a report from the Director for Digital & Resources, a copy is attached as item 7.

8. Business Rates Discretionary Relief

To consider a report from the Director for Digital & Resources, a copy is attached as item 8.

9. Council Tax Support Schemes for 2018/19

To consider a report from the Director for Digital & Resources, a copy is attached as item 9.

10. Adur and Worthing Economic Strategy 2018-2023

To consider a report from the Director for the Economy, a copy is attached as item 5.

11. Delivering our Housing Strategy - the draft Adur and Worthing Community Homelessness Strategy

To consider a report from the Director for Communities, a copy is attached as item 11.

12. Delivering our Housing Strategy - Discretionary Funding for Disabled Facilities Grants (DFGs)

To consider a report from the Director for Communities, a copy is attached as item 12.

13. Delivering High Quality Public Realm in Worthing Town Centre

To consider a report from the Director for the Economy, a copy is attached as item 13.

14. Delivering a New Vision for Worthing Seafront

To consider a report from the Director for the Economy, a copy is attached as item 14.

15. Exclusion of the Press and Public

In the opinion of the Proper Officer the press and public should be excluded from the meeting for consideration of the following item. Therefore the meeting is asked to consider passing the following resolution:

'that under Section 100A(4) of the Local Government Act 1972, the public and press be excluded from the meeting from the following items of business on the grounds that they involve the likely disclosure of exempt information as defined in the paragraph of Part 3 of Schedule 12 A to the Act indicated against the item'

Part B - Not for Publication – Exempt Information Reports

16. Delivering High Quality Public Realm in Worthing Town Centre - Exempt Appendix A

To consider an exempt appendix from the Director for the Economy.

Recording of this meeting

The Council will be voice recording the meeting, including public question time. The recording will be available on the Council's website as soon as practicable after the meeting. The Council will not be recording any discussions in Part B of the agenda (where the press and public have been excluded).

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The agenda and reports are available on the Councils website, please visit www.adur-worthing.gov.uk



ADUR & WORTHING
COUNCILS

Joint Strategic Committee
Date: 5th December, 2017
Agenda Item: 5
Key Decision : No
Ward(s) Affected:

Joint Governance Committee
Date: 28th November, 2017
Agenda Item 6

MID YEAR REVIEW OF TREASURY MANAGEMENT 2017-18, ADUR DISTRICT COUNCIL AND WORTHING BOROUGH COUNCIL

REPORT BY THE DIRECTOR FOR DIGITAL AND RESOURCES

EXECUTIVE SUMMARY

1. PURPOSE

- 1.1 This report asks Members to note the Treasury Management mid-year performance for Adur and Worthing Councils at the 30 September 2017, as required by regulations issued under the Local Government Act 2003.

2. RECOMMENDATIONS

2.1 Recommendation One

The Joint Governance Committee is recommended to note this report and refer any comments or suggestions to the next meeting of the Joint Strategic Committee on 5th December 2017.

2.2 Recommendation Two

The Joint Strategic Committee is recommended to note this report.

2.3 Recommendation Three

The Joint Strategic Committee is recommended to recommend to Council to approve increases in the Prudential Indicator limits for the Operational Boundaries and the Authorised Limits for borrowing, due to the approved strategies for additional expenditure on the purchase of strategic property.

3. CONTEXT

- 3.1 This report summarises the treasury management activities and portfolio for both Adur and Worthing Councils for the half year to 30 September 2017.
- 3.2 This is one of 3 treasury management reports that are required to be presented during the financial year (see Para. 4.1.3).
- 3.3 The Councils operate balanced budgets, which broadly means cash raised during the year will meet cash expenditure. Part of the treasury management operations ensure this cash flow is adequately planned, with surplus monies being invested in low risk counterparties, providing adequate liquidity initially before considering optimising investment return.

The second main function of the treasury management service is the funding of the Councils' capital plans. These capital plans provide a guide to the borrowing need of the Councils, essentially the longer term cash flow planning to ensure the Councils can meet their capital spending operations. This management of longer term cash may involve arranging long or short term loans, or using longer term cash flow surpluses, and on occasion any debt previously drawn may be restructured to meet Council risk or cost objectives.

Accordingly, treasury management is defined as:

“The management of the local authority’s investments and cash flows, its banking, money market and capital market transactions; the effective control of the risks associated with those activities; and the pursuit of optimum performance consistent with those risks.”

- 3.4 The Councils' Treasury Management Strategy and Annual Investment Strategy place the security of investments as foremost in considering all treasury management dealing. By so doing it contributes towards the Council priorities set out in Platforms for our Places.

4. ISSUES FOR CONSIDERATION

- 4.1 The Chartered Institute of Public Finance and Accountancy's (CIPFA) Code of Practice on Treasury Management (revised 2011) is adopted by the Councils.

The primary requirements of the Code are as follows:

1. Creation and maintenance of a Treasury Management Policy Statement which sets out the policies and objectives of the Councils' treasury management activities.
2. Creation and maintenance of Treasury Management Practices which set out the manner in which the Councils will seek to achieve those policies and objectives.
3. Receipt by the full Councils of an annual Treasury Management Strategy Statement - including the Annual Investment Strategy and Minimum Revenue Provision Policy - for the year ahead, a Mid-year Review Report and an Annual Report (stewardship report) covering activities during the previous year.
4. Delegation by the Councils of responsibilities for implementing and monitoring treasury management policies and practices and for the execution and administration of treasury management decisions.
5. Delegation by the Councils of the role of scrutiny of treasury management strategy and policies to a specific named body. For these Councils the delegated bodies are the Joint Governance Committee and the Joint Strategic Committee.

4. ISSUES FOR CONSIDERATION

4.2 This mid-year report has been prepared in compliance with CIPFA's Code of Practice on Treasury Management, and covers the following:

- An economic update for the first part of the 2017/18 financial year;
- A review of the Treasury Management Strategy Statement and Annual Investment Strategy;
- The Councils' capital expenditure (prudential indicators);
- A review of the Councils' investment portfolios for 2017/18;
- A review of the Councils' borrowing strategy for 2017/18;
- A review of any debt rescheduling undertaken during 2017/18;
- A review of compliance with Treasury and Prudential Limits for 2017/18.

5. THE ECONOMY AND INTEREST RATES

*The following commentary has been supplied by **Capita Asset Services Ltd**, the professional consultants for the Councils' shared treasury management services provider. The context is significant as it describes the backdrop against which treasury management activity has been undertaken during the year.*

5.1 Economics update

UK. After the UK economy surprised on the upside with strong growth in 2016, growth in 2017 has been disappointingly weak; quarter 1 came in at only +0.3% (+1.7% y/y) and quarter 2 was +0.3% (+1.5% y/y) which meant that growth in the first half of 2017 was the slowest for the first half of any year since 2012. The main reason for this has been the sharp increase in inflation, caused by the devaluation of sterling after the referendum, feeding increases in the cost of imports into the economy. This has caused, in turn, a reduction in consumer disposable income and spending power and so the services sector of the economy, accounting for around 75% of GDP, has seen weak growth as consumers cut back on their expenditure. However, more recently there have been encouraging statistics from the manufacturing sector which is seeing strong growth, particularly as a result of increased demand for exports. It has helped that growth in the EU, our main trading partner, has improved significantly over the last year. However, this sector only accounts for around 11% of GDP so expansion in this sector will have a much more muted effect on the average total GDP growth figure for the UK economy as a whole.

The Monetary Policy Committee (MPC) meeting of 14 September 2017 surprised markets and forecasters by suddenly switching to a much more aggressive tone in terms of its words around warning that Bank Rate will need to rise. The Bank of England Inflation Reports during 2017 have clearly flagged up that they expected CPI inflation to peak at just under 3% in 2017, before falling back to near to its target rate of 2% in two year's time. Inflation actually came in at 2.9% in August, (this data was released on 12 September), and so the Bank revised its forecast for the peak to over 3% at the 14 September meeting MPC. This marginal revision can hardly justify why the MPC became so aggressive with its wording; rather, the focus was on an emerging view that with unemployment falling to only 4.3%, the lowest level since 1975, and improvements in productivity being so weak, that the amount of spare capacity in the economy was significantly diminishing towards a point at which they now needed to take action. In addition, the MPC took a more tolerant view of low wage inflation as this now looks like a common factor in nearly all western economies as a result of increasing globalisation.

5. THE ECONOMY AND INTEREST RATES

5.1 Economics update

This effectively means that the UK labour faces competition from overseas labour e.g. in outsourcing work to third world countries, and this therefore depresses the negotiating power of UK labour. However, the Bank was also concerned that the withdrawal of the UK from the EU would effectively lead to a decrease in such globalisation pressures in the UK, and so would be inflationary over the next few years.

It therefore looks very likely that the MPC will increase Bank Rate to 0.5% in November or, if not, in February 2018. The big question after that will be whether this will be a one off increase or the start of a slow, but regular, increase in Bank Rate. As at the start of October, short sterling rates are indicating that financial markets do not expect a second increase until May 2018 with a third increase in November 2019. However, some forecasters are flagging up that they expect growth to improve significantly in 2017 and into 2018, as the fall in inflation will bring to an end the negative impact on consumer spending power while a strong export performance will compensate for weak services sector growth. If this scenario were to materialise, then the MPC would have added reason to embark on a series of slow but gradual increases in Bank Rate during 2018. While there is so much uncertainty around the Brexit negotiations, consumer confidence, and business confidence to spend on investing, it is far too early to be confident about how the next two years will pan out.

EU. Economic growth in the EU, (the UK's biggest trading partner), has been lack lustre for several years after the financial crisis despite the ECB eventually cutting its main rate to -0.4% and embarking on a massive programme of QE. However, growth picked up in 2016 and now looks to have gathered ongoing substantial strength and momentum thanks to this stimulus. GDP growth was 0.5% in quarter 1 (2.0% y/y) and 0.6% in quarter 2 (2.3% y/y). However, despite providing massive monetary stimulus, the European Central Bank is still struggling to get inflation up to its 2% target and in August inflation was 1.5%. It is therefore unlikely to start on an upswing in rates until possibly 2019.

USA. Growth in the American economy has been volatile in 2015 and 2016. 2017 is following that path again with quarter 1 coming in at only 1.2% but quarter 2 rebounding to 3.1%, resulting in an overall annualised figure of 2.1% for the first half year. Unemployment in the US has also fallen to the lowest level for many years, reaching 4.4%, while wage inflation pressures, and inflationary pressures in general, have been building. The Fed has started on a gradual upswing in rates with three increases since December 2016; and there could be one more rate rise in 2017 which would then lift the central rate to 1.25 – 1.50%. There could then be another four more increases in 2018. At its June meeting, the Fed strongly hinted that it would soon begin to unwind its \$4.5 trillion balance sheet holdings of bonds and mortgage backed securities by reducing its reinvestment of maturing holdings.

Chinese economic growth has been weakening over successive years, despite repeated rounds of central bank stimulus; medium term risks are increasing. Major progress still needs to be made to eliminate excess industrial capacity and the stock of unsold property, and to address the level of non-performing loans in the banking and credit systems.

Japan is struggling to stimulate consistent significant growth and to get inflation up to its target of 2%, despite huge monetary and fiscal stimulus. It is also making little progress on fundamental reform of the economy.

5. THE ECONOMY AND INTEREST RATES

5.2 Interest rate forecasts

The Council's treasury advisor, Capita Asset Services, has provided the following forecast:

	NOW	Dec-17	Mar-18	Jun-18	Sep-18	Dec-18	Mar-19	Jun-19	Sep-19	Dec-19	Mar-20	Jun-20	Sep-20	Dec-20	Mar-21
BANK RATE	0.50	0.50	0.50	0.50	0.50	0.75	0.75	0.75	0.75	1.00	1.00	1.00	1.25	1.25	1.25
3 month LIBID	0.40	0.40	0.40	0.40	0.40	0.60	0.60	0.60	0.70	0.90	0.90	1.00	1.20	1.20	1.20
6 month LIBID	0.45	0.50	0.50	0.50	0.60	0.80	0.80	0.80	0.90	1.00	1.00	1.10	1.30	1.30	1.40
12 month LIBID	0.65	0.70	0.80	0.80	0.90	1.00	1.00	1.10	1.10	1.30	1.30	1.40	1.50	1.50	1.60
5 yr PWLB	1.50	1.50	1.60	1.60	1.70	1.80	1.80	1.90	1.90	2.00	2.10	2.10	2.20	2.30	2.30
10 yr PWLB	2.10	2.10	2.20	2.30	2.40	2.40	2.50	2.60	2.60	2.70	2.70	2.80	2.90	2.90	3.00
25 yr PWLB	2.70	2.80	2.90	3.00	3.00	3.10	3.10	3.20	3.20	3.30	3.40	3.50	3.50	3.60	3.60
50 yr PWLB	2.40	2.50	2.60	2.70	2.80	2.90	2.90	3.00	3.00	3.10	3.20	3.30	3.30	3.40	3.40

At the November MPC meeting Bank Rate was increased by 0.25% to 0.50%. The MPC also gave forward guidance that they expected to increase Bank Rate only twice more in the next two years to reach 1.0% by 2020. As this was the first increase in Bank Rate for a decade, the MPC was right to avoid alarming consumers and financial markets and to be very reassuring about the pace of future increases.

The overall balance of risks to economic recovery in the UK is currently to the downside but huge variables over the coming few years include just what final form Brexit will take, when finally agreed with the EU, and when.

Downside risks to current forecasts for UK gilt yields and PWLB rates currently include:

- UK economic growth and increases in inflation are weaker than we currently anticipate.
- Weak growth or recession in the UK's main trading partners - the EU and US.
- Geopolitical risks in Europe, the Middle East and Asia, which could lead to increasing safe haven flows.
- A resurgence of the Eurozone sovereign debt crisis.
- Weak capitalisation of some European banks.
- Monetary policy action failing to stimulate sustainable growth and to get inflation up consistently to around monetary policy target levels.

The potential for upside risks to current forecasts for UK gilt yields and PWLB rates, especially for longer term PWLB rates include: -

- The pace and timing of increases in the Fed. Funds Rate causing a fundamental reassessment by investors of the relative risks of holding bonds as opposed to equities and leading to a major flight from bonds to equities.
- UK inflation returning to significantly higher levels causing an increase in the inflation premium inherent to gilt yields.

6. TREASURY MANAGEMENT STRATEGY STATEMENT and ANNUAL INVESTMENT STRATEGY UPDATE

The Treasury Management Strategy Statement (TMSS) for 2017/18 was approved by the Joint Strategic Committee on 2nd February 2017. Some revision is required in the light of subsequent strategic decisions: both Councils have approved increases in the strategic property investment funds (£15m for each Council). Consequently the projected borrowing and Capital Financing Requirements have increased and the Prudential Indicators for the Operational Boundaries and Authorised Limits for borrowing also need to be increased as shown in the following tables.

7. THE COUNCILS' CAPITAL POSITION (PRUDENTIAL INDICATORS)

This part of the report is structured to update:

- The Councils' capital expenditure plans
- How these plans are being financed
- The impact of the changes in the capital expenditure plans on the prudential indicators and the underlying need to borrow
- Compliance with the limits in place for borrowing activity

7.1 Prudential Indicator for Capital Expenditure

These tables show the revised estimates for capital expenditure and the changes since the capital programme was agreed at the Budget.

Adur District Council

	2017/18 Original Estimate	Actual at 30 Sept 2017	2017/18 Revised Estimate
	£m	£m	£m
HRA	6.496	1.617	7.910
Non HRA	19.390	15.230	35.821
Total capital expenditure	25.886	16.847	45.731

The increase in the Adur revised capital expenditure estimate is due mainly to:

- JSC approval to commit an additional £15m to strategic property investment, which has not yet been spent;
- the approval to spend £1.2m on the provision of affordable housing, to be funded from capital receipts;
- re-profiling of other budgets from 2016/17

Worthing Borough Council

	2017/18 Original Estimate	Actual at 30 Sept 2017	2017/18 Revised Estimate
	£m	£m	£m
Total capital expenditure	23.709	18.171	50.869

7. THE COUNCILS' CAPITAL POSITION (PRUDENTIAL INDICATORS)

7.1 Prudential Indicator for Capital Expenditure

The increase in the Worthing revised capital expenditure estimate is due mainly to:

- JSC approval to increase the strategic property investment fund by an additional £16.5m, plus re-profiled budget from 2016/17 of £3.5m (£21m of the fund is still available);
- the re-profiling of the first £5m tranche of the loan to Worthing Homes from 2016/17; the second tranche of £5m is expected to be drawn down in December 2017;
- re-profiling of other budgets from 2016/17

7.2 Changes to the Financing of the Capital Programme

The table below draws together the main strategy elements of the capital expenditure plans (above), highlighting the original supported and unsupported elements of the capital programme, and the expected financing arrangements of this capital expenditure. The borrowing element of the table increases the underlying indebtedness of the Councils by way of the Capital Financing Requirement (CFR), although this will be reduced in part by revenue charges for the repayment of debt (the Minimum Revenue Provision). This direct borrowing need may also be supplemented by maturing debt and other treasury requirements.

Adur District Council

	2017/18 Original Estimate	2017/18 Revised Estimate
	£m	£m
Total Capital Expenditure	25.886	43.731
Financed by:		
Capital receipts	0.740	2.087
Grants & contributions	4.047	2.223
Reserves and revenue	5.967	5.972
Total financing	10.754	10.282
Borrowing requirement	15.132	33.449

Worthing Borough Council

	2017/18 Original Estimate	2017/18 Revised Estimate
	£m	£m
Total Capital Expenditure	23.709	50.869
Financed by:		
Capital receipts	6.140	5.859
Grants & contributions	0.941	1.415
Reserves & revenue	0.233	0.433
Total financing	7.314	7.707
Borrowing requirement	16.395	43.162

The Worthing capital receipt relates mainly to the sale of the Aquarena site.

7. THE COUNCILS' CAPITAL POSITION (PRUDENTIAL INDICATORS)

7.3 Changes to the Prudential Indicators for the Capital Financing Requirement (CFR), External Debt and the Operational Boundary

The table below shows the CFR, which is the underlying external need to incur borrowing for a capital purpose. Due to the increased strategic property investment funds the CFRs will be higher than forecast in the TMSS.

The table also shows the expected debt position over the period, which is termed the Operational Boundary. "Other long term liabilities" includes finance leases.

Adur District Council

	2017/18 Original Estimate	Actual at 30 Sept 2017	2017/18 Revised Estimate
	£m	£m	£m
Prudential Indicator Capital Financing Requirement			
CFR - HRA	60.103	60.103	61.537
CFR – non HRA	30.231	29.909	46.212
Total CFR	90.334	90.012	107.749
Net movement in CFR	14.313	15.000	32.737
Prudential Indicator The Operational Boundary for external debt			
	Op Boundary	Actual Debt	Op Boundary
Borrowing	93.00	86.81	110.00
Other long term liabilities	1.00	0.000	1.00
Total debt (year-end position)	94.00	86.81	111.00

Worthing Borough Council

	2017/18 Original Estimate	Actual at 30 Sept 2017	2017/18 Revised Estimate
	£m	£m	£m
Prudential Indicator Capital Financing Requirement			
CFR – non housing	49.143	34.696	64.737
Net movement in CFR	15.322	12.312	42.353
Prudential Indicator The Operational Boundary for external debt			
	Op Boundary	Actual Debt	Op Boundary
Borrowing re Worthing Homes	10.00	5.00	10.00
Other Borrowing	41.00	29.63	56.00
Other long term liabilities	1.00	0.00	1.00
Total debt (year-end position)	52.00	34.63	67.00

7. THE COUNCILS' CAPITAL POSITION (PRUDENTIAL INDICATORS)

7.4 Limits to Borrowing Activity

The first key control over the treasury activity is a prudential indicator to ensure that over the medium term, net borrowing (borrowings less investments) will only be for a capital purpose. Gross external borrowing should not, except in the short term, exceed the total of CFR in the preceding year plus the estimates of any additional CFR for 2017/18 and next two financial years. This allows some flexibility for limited early borrowing for future years. The Councils have approved a policy for borrowing in advance of need which will be adhered to if this proves prudent. The Chief Financial Officer reports that no difficulties are envisaged for the current or future years in complying with this prudential indicator.

Adur District Council

	2017/18 Original Estimate	Actual at 30 Sept 2017	2017/18 Revised Estimate
	£m	£m	£m
Borrowing	83.975	86.814	107.289
Other long term liabilities	0.000	0.000	0.000
Total debt	83.975	86.814	107.289
CFR (year end position)	90.334	90.012	107.749

Worthing Borough Council

	2017/18 Original Estimate	Actual at 30 Sept 2017	2017/18 Revised Estimate
	£m	£m	£m
Borrowing	40.531	34.630	64.662
Other long term liabilities	0.000	0.000	0.000
Total debt	40.531	34.630	64.662
CFR (year end position)	49.143	34.696	64.737

A further prudential indicator controls the overall level of borrowing. This is the Authorised Limit which represents the limit beyond which borrowing is prohibited, and needs to be set and revised by Members. It reflects the level of borrowing which, while not desired, could be afforded in the short term, but is not sustainable in the longer term. It is the expected maximum borrowing need with some headroom for unexpected movements. This is the statutory limit determined under section 3 (1) of the Local Government Act 2003.

Adur District Council

	2017/18 Original Indicator	Actual at 30 Sept 2017	2017/18 Revised Indicator
	£m	£m	£m
Authorised Limit for external debt			
Borrowing	99.00	86.81	120.00
Other long term liabilities	1.00	0.00	1.00
Total	100.00	86.81	121.00

7. THE COUNCILS' CAPITAL POSITION (PRUDENTIAL INDICATORS)

7.4 Limits to Borrowing Activity

Worthing Borough Council

	2017/18 Original Indicator	Actual at 30 Sept 2017	2017/18 Revised Indicator
Authorised Limit for external debt	£m	£m	£m
Borrowing re Worthing Homes	10.00	5.00	10.00
Other Borrowing	49.00	29.63	64.00
Other long term liabilities	1.00	0.00	1.00
Total	60.00	34.63	75.00

8 INVESTMENT PORTFOLIO 2017/18

8.1 Investment performance

In accordance with the Code, it is the Councils' priority to ensure security of capital and liquidity, and to obtain an appropriate level of return which is consistent with the Councils' risk appetite. As shown by forecasts in section 5.2, it is a very difficult investment market in terms of earning the level of interest rates commonly seen in previous decades as rates are very low and in line with the current Bank Rate. The continuing potential for a re-emergence of a Eurozone sovereign debt crisis, and its impact on banks, prompts a low risk and short term strategy. Given this risk environment and the fact that increases in Bank Rate are likely to be gradual and unlikely to return to the levels seen in previous decades, investment returns are likely to remain low.

Adur District Council held £16.8m of investments as at 30 September 2017, (£15.4m at 31 March 2017) and the investment portfolio yield for the first 6 months of the year is 0.97% p.a. against a benchmark rate of 0.53% for 12 month deposits (supplied by Capita Asset Services). The portfolio is shown in Appendix 1.

The Head of Financial Services confirms that the approved limits for Adur District Council within the Annual Investment Strategy were not breached during the first 6 months of 2017/18.

Adur District Council's budgeted investment return for 2017/18 is £143k and performance for the year to date is marginally above budget.

Worthing Borough Council held £20.5m of investments with banks and building societies as at 30 September 2017, (£11.5m at 31 March 2017). The investment portfolio yield for the first 6 months of the year is 0.60% p.a. against a benchmark rate of 0.53% for 12 month deposits (supplied by Capita Asset Services). The Council has also made a loan of £5m to Worthing Homes at 2.53% (0.7% above the rate at which the funds were borrowed). Worthing's investment portfolio yield is lower than Adur's because Adur has been able to place longer term investments, for example Adur took out a 5 year deal for £2m in 2013 at 1.9% - a far higher rate than has been available over the last 2 years. Worthing needs to retain more of its cash in short term investments, including Money Market Funds, where rates have been very low. The portfolio is shown in Appendix 2.

It was reported to JSC on 10 October 2017 that the Worthing investment counterparty limit with Lloyds Bank had been breached over the weekend of 1 to 4 September 2017, due to the receipt late on Friday afternoon of the sales proceeds of the Aquarena site. The Head of Financial Services confirms that no other approved limits for Worthing Borough Council within the Annual Investment Strategy were breached during the first 6 months of 2017/18.

8 INVESTMENT PORTFOLIO 2017/18

8.1 Investment performance

Worthing Borough Council's budgeted investment return for 2017/18, excluding for the Worthing Homes loan, is £61k and performance for the year to date is above budget.

8.2 Investment counterparty criteria

The current investment counterparty criteria selection approved in the Treasury Management Strategy Statement is meeting the requirements of the Adur and Worthing treasury management function.

9 BORROWING

9.1 The Capital Financing Requirement (CFR) denotes the Councils' underlying need to borrow for capital purposes. If the CFR is positive the Council may borrow from the PWLB or the market (external borrowing) or from internal balances on a temporary basis (internal borrowing). The balance of external and internal borrowing is generally driven by market conditions. For both Adur and Worthing Councils capital expenditure in 2017/18 is funded from grants, capital receipts, contributions, reserves and revenue contributions as well as borrowing. This is a prudent and cost effective approach in the current economic climate but will require ongoing monitoring.

9.2 Adur District Council's revised CFR for 2017/18 is £107.7m. The relevant table in 7.4 shows the Council has borrowings of £86.8m at 30 September 2017.

Worthing Borough Council's revised CFR for 2017/18 is £64.7m. The relevant table in 7.4 shows the Council has borrowings of £34.6m at 30 September 2017.

9.3 Due to the overall financial position and the underlying need to borrow for capital purposes, new external borrowing was undertaken as shown in the tables below. It is anticipated that further borrowing will be undertaken by both Councils during this financial year to fund capital expenditure, including the purchase of properties.

Adur District Council – new loans

Lender	Principal	Type	Interest Rate	Maturity
PWLB	£11.47m	Fixed interest rate	1.85%	22/06/2037
PWLB	£1.6m	Fixed interest rate	1.25%	27/06/2026
Lancing Parish Council	£0.3m	Variable interest rate		On request

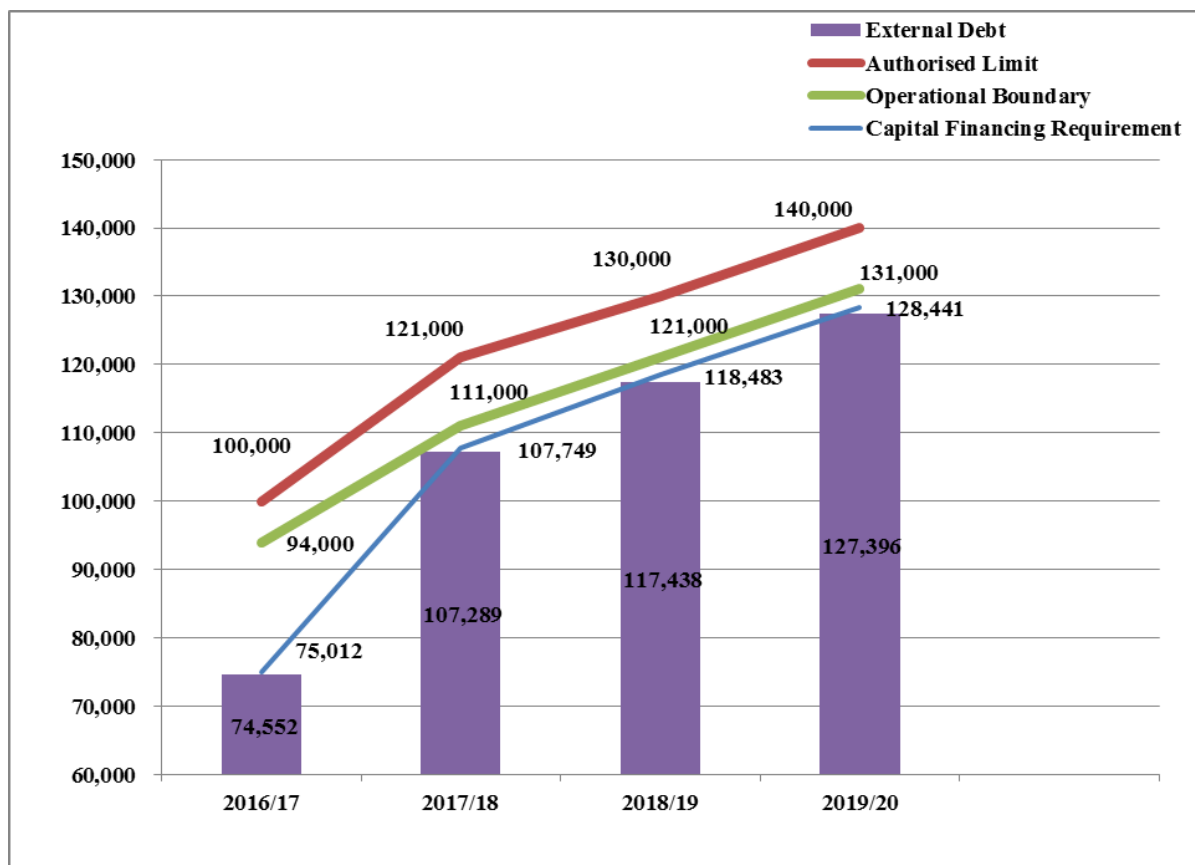
9 BORROWING

Worthing Borough Council – new loans

Lender	Principal	Type	Interest Rate	Maturity
PWLB	£2m	Fixed interest rate	1.25%	13/04/2027
PWLB (Worthing Homes)	£5m	Fixed interest rate	1.83%	20/04/2027
PWLB	£6m	Fixed interest rate	1.94%	04/05/2037
PWLB	£3.45m	Fixed interest rate	1.89%	30/05/2037
PWLB	£2.5m	Fixed interest rate	1.25%	27/06/2026
Harlow District Council	£2m	Fixed interest rate	0.40%	17/07/2018
Wealden District Council	£3m	Fixed interest rate	0.45%	21/06/2018

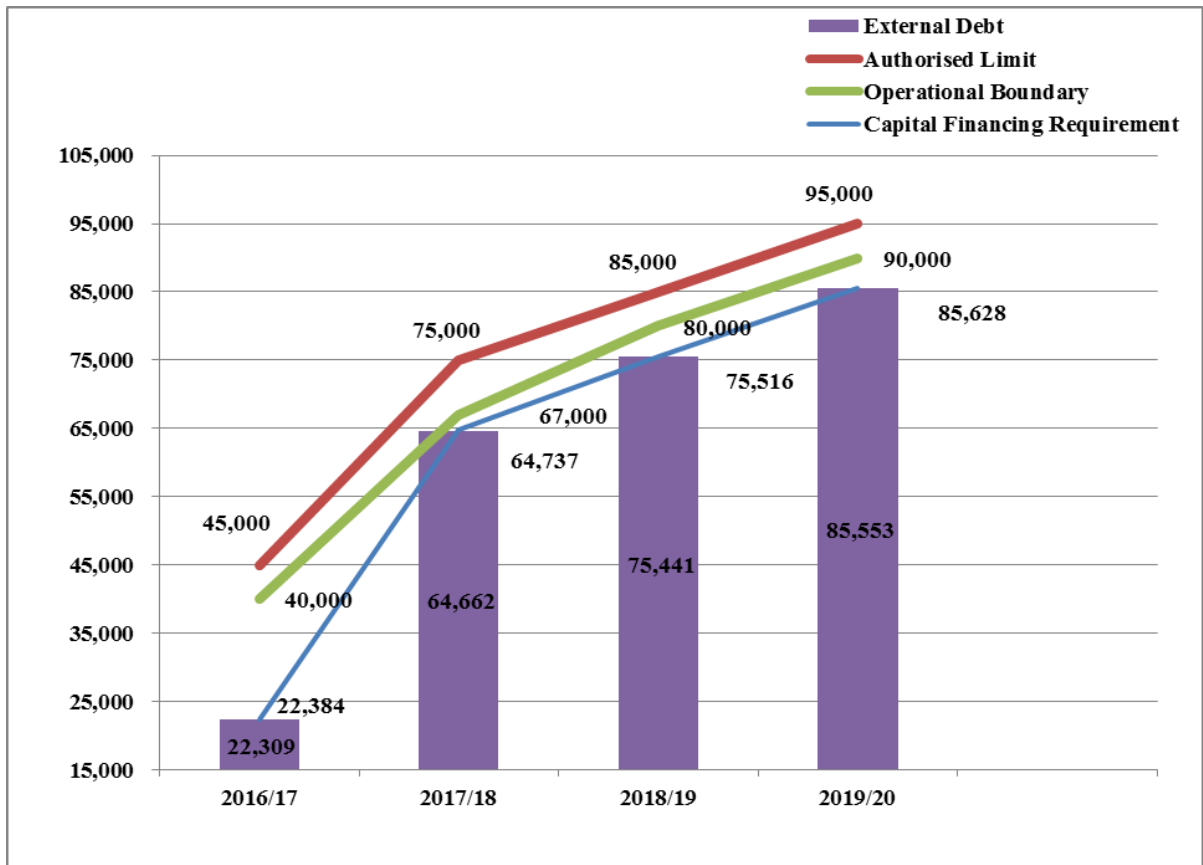
- 9.4 The graphs below show the relationship between the Capital Financing Requirement, actual external debt, the Operational Boundary and the Authorised Limit for borrowing.

Adur District Council



9 BORROWING

Worthing Borough Council



10 DEBT RESCHEDULING

Debt rescheduling opportunities have been very limited in the current economic climate given the consequent structure of interest rates, and following the increase in the margin added to gilt yields which has impacted PWLB new borrowing rates since October 2010. No debt rescheduling has therefore been undertaken to date in the current financial year for either Council.

11 OTHER

11.1 Revised CIPFA Codes

The Chartered Institute of Public Finance and Accountancy, (CIPFA), is currently conducting an exercise to consult local authorities on revising the Treasury Management Code and Cross Sectoral Guidance Notes, and the Prudential Code. CIPFA is aiming to issue the revised codes during November.

A particular focus of this exercise is how to deal with local authority investments which are not treasury type investments e.g. by investing in purchasing property in order to generate income for the authority at a much higher level than can be attained by treasury investments. One recommendation is that local authorities should produce a new report to members to give a high level summary of the overall capital strategy and to enable members to see how the cash resources of the authority have been apportioned between treasury and non treasury investments. Officers are monitoring developments and will report to members when the new codes have been agreed and issued and on the likely impact on these authorities.

11 OTHER

11.2 MIFID II

The EU has now set a deadline of 3 January 2018 for the introduction of regulations under MIFID II. These regulations will govern the relationship that financial institutions conducting lending and borrowing transactions will have with local authorities from that date. This will have little effect on these authorities apart from having to fill in forms sent by each institution dealing with this authority and for each type of investment instrument we use apart from for cash deposits with banks and building societies.

12. ENGAGEMENT AND COMMUNICATION

12.1 The Adur and Worthing Councils' treasury management team provides treasury services to Mid Sussex District Council through a shared services arrangement (SSA). The SSA is provided under a Service Level Agreement that was renewed from 18th October 2016, and which defines the respective roles of the client and provider authorities for a period of three years.

12.2 Information and advice is supplied throughout the year by Capita Asset Services Ltd, the professional consultants for the Councils' shared treasury management service.

13. FINANCIAL IMPLICATIONS

13.1 This report has no quantifiable additional financial implications to those outlined above. Interest payable and interest receivable arising from treasury management operations, and annual revenue provisions for repayment of debt, form part of the revenue budget.

Finance Officer: Sarah Gobey

Date: 16th November 2017

14. LEGAL IMPLICATIONS

14.1 The presentation of the Half Year Report is required by regulations issued under the Local Government Act 2003 to review the treasury management activities, the actual prudential indicators and the treasury related indicators for 2017/18.

Legal Officer: Richard Burraston

Date: 16th November 2017

Background Papers

Joint Treasury Management Strategy Statement and Annual Investment Strategy Report 2017/18 to 2019/20 – Joint Strategic Committee 2 February 2017, and Joint Governance Committee, 28 March 2017

Annual Joint In-House Treasury Management Operations Report 1 April 2016 – 31 March 2017 for Adur District Council and Worthing Borough Council – Joint Governance Committee, 26 September 2017 and Joint Strategic Committee, 10 October 2017

Capita Asset Services Ltd Half Year Report Template 2017/18

Capita Benchmarking Club Reports

Treasury Management in the Public Services: Code of Practice and Cross Sectoral Guidance Notes (CIPFA, November 2011)

The Prudential Code for Capital Finance in Local Authorities (CIPFA, May 2013)

Officer Contact Details:-

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Group Accountant (Strategic Finance)

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SUSTAINABILITY & RISK ASSESSMENT

1. ECONOMIC

The treasury management function ensures that the Councils have sufficient liquidity to finance their day to day operations. Borrowing is arranged as required to fund the capital programmes. Available funds are invested according to the specified criteria to ensure security of the funds, liquidity and, after these considerations, to maximise the rate of return.

2. SOCIAL

2.1 Social Value

Matter considered and no issues identified.

2.2 Equality Issues

Matter considered and no issues identified.

2.3 Community Safety Issues (Section 17)

Matter considered and no issues identified.

2.4 Human Rights Issues

Matter considered and no issues identified.

3. ENVIRONMENTAL

Matter considered and no issues identified.

4. GOVERNANCE

4.1 The Councils' Treasury Management Strategy and Annual Investment Strategy place the security of investments as foremost in considering all treasury management dealing. By so doing it contributes towards the Council priorities contained in Platforms for our Places.

4.2 The operation of the treasury management function is as approved by the Councils' Treasury Management Strategy and Annual Investment Strategy 2016/17 - 2018/19, submitted and approved before the commencement of the 2016/17 financial year.

4.3 In the current economic climate the security of investments is paramount, the management of which includes regular monitoring of the credit ratings and other incidental information relating to credit worthiness of the Councils' investment counterparties.

ADUR DISTRICT COUNCIL - PORTFOLIO OF INVESTMENTS AND LOANS						
INVESTMENTS AT 31ST MARCH 2017						
Deal Ref.	Counterparty	Start Date	Maturity Date	Term (Days)	Principal (£)	Interest Rate %
6049	BARCLAYS TREASURY DEPOSIT	13-Sep-16	12-Sep-17	364	1,000,000	0.69
6054	BARCLAYS TREASURY DEPOSIT	24-Nov-16	23-Nov-17	364	1,000,000	0.74
6056	BARCLAYS TREASURY DEPOSIT	06-Dec-16	05-Dec-17	364	1,000,000	0.74
6051	LLOYDS BANK	18-Oct-16	17-Oct-17	364	1,000,000	1.00
6052	LLOYDS BANK	01-Nov-16	31-Oct-17	364	1,000,000	1.00
6059	LLOYDS BANK	10-Jan-17	09-Jan-18	364	1,000,000	0.90
6044	NATIONWIDE BLDG SOCIETY	28-Jul-16	27-Jul-17	364	1,000,000	0.70
6045	SKIPTON	02-Aug-16	01-Aug-17	364	1,000,000	0.75
6061	CCLA	15-Mar-17	n/a	n/a	1,720,000	variable
6057	FEDERATED STERLING MMF	01-Mar-17	n/a	n/a	2,950,000	variable
6062	HANDELSBANKEN	20-Mar-17	n/a	n/a	680,000	0.20
50781	KINGSTON UPON HULL COUNCIL	02-Dec-13	30-Nov-18	1824	2,000,000	1.90
50782	LOCAL CAPITAL FINANCE	30-Sep-14	Unspecified		50,000	Unspecified
50783	W SUSSEX CREDIT UNION	06-Mar-15	Unspecified		25,000	Unspecified
TOTAL INVESTMENTS AT 31ST MARCH, 2017					15,425,000	

ADUR DISTRICT COUNCIL - PORTFOLIO OF INVESTMENTS AND LOANS						
INVESTMENTS AT 30TH SEPTEMBER 2017						
Deal Ref.	Counterparty	Start Date	Maturity Date	Term (Days)	Principal (£)	Interest Rate %
6054	BARCLAYS TREASURY DEPOSIT	24-Nov-16	23-Nov-17	364	1,000,000	0.74
6056	BARCLAYS TREASURY DEPOSIT	06-Dec-16	05-Dec-17	364	1,000,000	0.74
6071	GOLDMAN SACHS INT BANK	12-Sep-17	12-Mar-18	181	1,000,000	0.60
6051	LLOYDS BANK	18-Oct-16	17-Oct-17	364	1,000,000	1.00
6052	LLOYDS BANK	01-Nov-16	31-Oct-17	364	1,000,000	1.00
6059	LLOYDS BANK	10-Jan-17	09-Jan-18	364	1,000,000	0.90
6063	SANTANDER UK	11-Apr-17	10-Apr-18	364	2,000,000	0.85
6064	SANTANDER UK	04-May-17	03-May-18	364	1,000,000	0.85
6067	SANTANDER UK	13-Jul-17	12-Jul-18	364	1,000,000	0.85
6068	SKIPTON BUILDING SOCIETY	13-Jul-17	12-Jul-18	364	1,000,000	0.76
6070	SKIPTON BUILDING SOCIETY	05-Sep-17	04-Sep-18	364	1,000,000	0.75
6061	CCLA MMF	n/a	n/a	n/a	10,000	n/a
6057	FEDERATED STERLING MMF	n/a	n/a	n/a	1,265,000	n/a
6066	HANDELSBANKEN	n/a	n/a	n/a	455,000	0.20
50781	KINGSTON UPON HULL CITY	02-Dec-13	30-Nov-18	1824	2,000,000	1.90
50783	LOCAL AUTHORITY PROPERTY FUND	25-Apr-17	Unspecified		1,000,000	variable (c 4%)
50782	LOCAL CAPITAL FINANCE CO. LTD.	30-Sep-14	Unspecified		50,000	Unspecified
	W SUSSEX CREDIT UNION	06-Mar-15	Unspecified		25,000	Unspecified
TOTAL INVESTMENTS AT 30TH SEPTEMBER 2017					16,805,000	

ADUR DISTRICT COUNCIL - PORTFOLIO OF INVESTMENTS AND LOANS: BORROWING 2017/18

Deal Ref.	Counterparty	Start Date	Maturity Date	Term (Yrs)	Principal (£) at 31.03.17	Interest Rate %	Principal (£) at 30.09.17
1388	BARCLAYS CAPITAL	22-Aug-05	24-Aug-65	60	3,563,270	5.150	3,563,270
1389	BARCLAYS CAPITAL	22-Aug-05	24-Aug-65	60	3,563,270	5.150	3,563,270
1390	BARCLAYS CAPITAL	22-Aug-05	24-Aug-65	60	3,563,270	5.150	3,563,270
1391	DEPFA BANK PLC	30-Mar-07	30-Mar-67	60	3,250,000	6.660	3,250,000
1392	DEPFA BANK PLC	30-Mar-07	30-Mar-67	60	4,000,000	4.035	4,000,000
476087	PUBLIC WORKS LOAN BOARD	13-Jun-95	21-Dec-54	59	1,000,000	8.375	1,000,000
476088	PUBLIC WORKS LOAN BOARD	13-Jun-95	21-Dec-53	58	1,000,000	8.375	1,000,000
476089	PUBLIC WORKS LOAN BOARD	13-Jun-95	21-Dec-52	57	1,000,000	8.375	1,000,000
478322	PUBLIC WORKS LOAN BOARD	17-Oct-96	07-May-56	60	1,000,000	8.000	1,000,000
479540	PUBLIC WORKS LOAN BOARD	28-May-97	21-Dec-56	59	1,000,000	7.375	1,000,000
479868	PUBLIC WORKS LOAN BOARD	24-Sep-97	12-Apr-57	60	1,000,000	7.125	1,000,000
479888	PUBLIC WORKS LOAN BOARD	24-Sep-97	12-Apr-57	60	1,000,000	6.750	1,000,000
481007	PUBLIC WORKS LOAN BOARD	09-Jun-98	11-Jan-58	60	1,000,000	5.750	1,000,000
481320	PUBLIC WORKS LOAN BOARD	17-Sep-98	11-Apr-55	57	455,795	5.250	455,795
482485	PUBLIC WORKS LOAN BOARD	22-Apr-99	11-Apr-59	60	1,000,000	4.750	1,000,000
483648	PUBLIC WORKS LOAN BOARD	25-Nov-99	02-Aug-59	60	726,000	4.500	726,000
483649	PUBLIC WORKS LOAN BOARD	25-Nov-99	02-Aug-59	60	273,531	4.500	273,531
484177	PUBLIC WORKS LOAN BOARD	20-Apr-00	07-Nov-24	24	1,000,000	5.125	1,000,000
485172	PUBLIC WORKS LOAN BOARD	18-Jan-01	15-Sep-25	24	335,133	4.625	335,133
485173	PUBLIC WORKS LOAN BOARD	18-Feb-01	15-Sep-25	24	164,867	4.875	164,867
499487	PUBLIC WORKS LOAN BOARD	28-Mar-12	28-Mar-42	30	42,654,167	3.030	41,801,084
21	SALIX FINANCE	12-Feb-14	01-Sep-17	3-4 years	3,000	0.000	0
505888	PUBLIC WORKS LOAN BOARD	20-Mar-17	20-Mar-22	5	2,000,000	0.960	1,800,000
506146	PUBLIC WORKS LOAN BOARD	22-Jun-17	22-Jun-37	20	0	1.850	11,466,000
506158	PUBLIC WORKS LOAN BOARD	27-Jun-17	27-Jun-26	9	0	1.250	1,600,000
22	LANCING PARISH COUNCIL	01-Apr-16	On Call	1	0	VARIABLE	252,200
TOTAL BORROWING					74,552,303		86,814,420
NET BORROWING					59,127,303		70,009,420

WORTHING BOROUGH COUNCIL - PORTFOLIO OF INVESTMENTS AND LOANS						
INVESTMENTS AT 31ST MARCH 2017						
Deal Ref.	Counterparty	Start Date	Maturity Date	Term (Days)	Principal (£)	Interest Rate %
1158	FEDERATED INVESTORS MMF	01-Mar-17	N/A	N/A	2,635,000	VARIABLE
1203	BLACKROCK	01-Mar-17	N/A	N/A	1,265,000	VARIABLE
1209	CCLA	01-Mar-17	N/A	N/A	1,100,000	VARIABLE
1208	HANDELSBANKEN	01-Mar-17	N/A	N/A	450,000	0.20
1204	BARCLAYS BANK	29-Nov-16	28-Nov-17	364	1,000,000	0.74
1200	LLOYDS BANK	18-Oct-16	17-Oct-17	364	1,000,000	1.00
1207	LLOYDS BANK	04-Jan-17	03-Jan-18	364	1,000,000	0.90
1201	NATIONWIDE	01-Nov-16	31-Oct-17	364	1,000,000	0.63
1210	SKIPTON	17-Jan-17	16-Jan-18	364	1,000,000	0.75
1211	SKIPTON	31-Jan-17	30-Jan-18	364	1,000,000	0.75
9001	LOCAL CAPITAL FINANCE	30-Sep-14	Unspecified		50,000	Unspecified
9002	W SUSSEX CREDIT UNION	06-Mar-15	Unspecified		25,000	Unspecified
TOTAL INVESTMENTS AT 31ST MARCH 2017					11,525,000	
INVESTMENTS AT 30TH SEPTEMBER, 2017						
Deal Ref.	Counterparty	Start Date	Maturity Date	Term (Days)	Principal (£)	Interest Rate %
1204	BARCLAYS BANK	29-Nov-16	28-Nov-17	364	1,000,000	0.74
1221	BARCLAYS BANK	12-Sep-17	29-May-18	259	2,000,000	0.44
1225	BARCLAYS BANK	19-Sep-17	19-Feb-18	153	1,000,000	0.33
1222	CLOSE BROTHERS LTD	15-Sep-17	15-Mar-18	181	1,000,000	0.40
1220	GOLDMAN SACHS INT BANK	05-Sep-17	04-Sep-18	364	2,000,000	0.78
1223	GOLDMAN SACHS INT BANK	15-Sep-17	15-Jun-18	273	1,000,000	0.79
1217	LEEDS BUILDING SOCIETY	16-Aug-17	12-Apr-18	239	1,000,000	0.36
1200	LLOYDS BANK	18-Oct-16	17-Oct-17	364	1,000,000	1.00
1207	LLOYDS BANK	04-Jan-17	03-Jan-18	364	1,000,000	0.90
1219	LLOYDS BANK	05-Sep-17	04-Sep-18	364	1,000,000	0.65
1201	NATIONWIDE	01-Nov-16	31-Oct-17	364	1,000,000	0.63
1210	SKIPTON	17-Jan-17	16-Jan-18	364	1,000,000	0.75
1211	SKIPTON	31-Jan-17	30-Jan-18	364	1,000,000	0.75
9004	LOCAL AUTHORITY PROPERTY FUND	27-Apr-17	Unspecified		500,000	Variable (c 4%)
1214	BLACK ROCK MMF	n/a	n/a	n/a	25,000	VARIABLE
1209	CCLA MMF	n/a	n/a	n/a	245,000	VARIABLE
1213	FEDERATED INVESTORS PRIME	n/a	n/a	n/a	3,000,000	VARIABLE
1208	HANDELSBANKEN	n/a	n/a	n/a	1,460,000	0.20
1224	INVESCO MMF	n/a	n/a	n/a	190,000	VARIABLE
9003	WORTHING HOMES	20-Apr-17	20-Apr-27	10 yrs	5,000,000	2.53
9001	LOCAL CAPITAL FINANCE	03-Sep-14	Unspecified		50,000	Unspecified
	W SUSSEX CREDIT UNION	06-Mar-15	Unspecified		25,000	Unspecified
TOTAL INVESTMENTS AT 30TH SEPTEMBER 2017					25,495,000	

WORTHING BOROUGH COUNCIL - PORTFOLIO OF INVESTMENTS AND LOANS							
BORROWING FOR 2017							
Deal Ref.	Counterparty	Start Date	Maturity Date	Term (Yrs)	Principal (£) at 31.03.17	Interest Rate %	Principal (£) at 30.09.17
35/37	SALIX FINANCE	23-Dec-13	01-Sep-17	3.69	9,467	0.00	0
56	WEALDEN DC	22-Jun-17	21-Jun-18	1.00	0	0.45	3,000,000
57	HARLOW DC	18-Jul-17	17-Jul-18	1.00	0	0.40	2,000,000
50	GLOUCESTERSHIRE COUNTY	30-Jul-15	30-Jul-20	5.01	2,000,000	1.90	2,000,000
51	MID SUSSEX DISTRICT COUNCIL	03-May-16	02-May-17	1.00	2,000,000	0.60	0
52	BARNSELY DONCASTER	03-Jun-16	03-Apr-17	0.83	2,000,000	0.60	0
53	LONDON BOROUGH OF EALING	06-Jun-16	05-Jun-17	1.00	2,000,000	0.62	0
54	HERTFORDSHIRE COUNTY C	11-Jul-16	10-Jul-17	1.00	5,000,000	0.55	0
503406	PUBLIC WORKS LOAN BOARD	22-Oct-14	22-Oct-24	10.00	1,600,000	2.32	1,500,000
503538	PUBLIC WORKS LOAN BOARD	12-Dec-14	12-Dec-19	5.00	600,000	1.62	500,000
504511	PUBLIC WORKS LOAN BOARD	02-Dec-15	02-Dec-25	10.00	3,150,000	2.07	2,975,000
505047	PUBLIC WORKS LOAN BOARD	13-Jun-16	13-Jun-36	20.00	1,950,000	2.16	1,900,000
505889	PUBLIC WORKS LOAN BOARD	20-Mar-17	20-Mar-22	5.00	2,000,000	0.96	1,800,000
505993	PUBLIC WORKS LOAN BOARD	13-Apr-17	13-Apr-27	10.00	0	1.25	2,000,000
506005	PUBLIC WORKS LOAN BOARD	20-Apr-17	20-Apr-27	10.00	0	1.83	5,000,000
506044	PUBLIC WORKS LOAN BOARD	04-May-17	04-May-37	20.00	0	1.94	6,000,000
506095	PUBLIC WORKS LOAN BOARD	30-May-17	30-May-37	20.00	0	1.89	3,454,500
506159	PUBLIC WORKS LOAN BOARD	27-Jun-17	27-Jun-26	9.00	0	1.25	2,500,000
TOTAL BORROWING					22,309,467		34,629,500
NET BORROWING					10,784,467		9,134,500



ADUR & WORTHING
COUNCILS

Joint Overview & Scrutiny Committee
Date: 30th November, 2017
Agenda Item 10

Joint Strategic Committee
Date: 5th December, 2017
Agenda Item 6
Key Decision : No
Ward(s) Affected:

SUSTAINABLE COUNCILS: 5 YEAR FORECAST 2018/19 – 2022/23 AND SAVINGS PROPOSALS

REPORT BY THE DIRECTOR FOR DIGITAL AND RESOURCES

EXECUTIVE SUMMARY

1. PURPOSE

- 1.1 This report provides an overview of the continuing success of our sustainable councils financial strategy, along with detail of proposals for 2018/19 that will deliver a balanced budget.
- 1.2 The report outlines the medium term financial challenge through to 2022/23, and sets out performance in the key strategic areas of commercialisation, digital transformation and strategic property investment.
- 1.3 Significant transformations are being undertaken at our councils, and not all of these deliver direct savings. They may be designed to help meet rising demand by improving productivity, such as in housing, or improve the customer experience, as achieved with digital waste management. An overview of the whole strategic programme will be provided in the Platforms for Our Places update in January 2018. In this report, specific proposals are made to deliver efficiency and other savings for 2018/19 and members are asked to support these.
- 1.4 The following appendices have been attached to this report:
 - (i) **Appendix 1** (a) 5 year forecast for Adur District Council
(b) 5 year forecast for Worthing Borough Council
 - (ii) **Appendix 2** Committed growth items
 - (iii) **Appendix 3** Summary of savings proposals

EXECUTIVE SUMMARY

1. PURPOSE

- (iv) **Appendix 4** Summary of savings delivered via the digital programme.
- (v) **Appendix 5** Summary of savings delivered via the commercial programme.

2. RECOMMENDATIONS

- 2.1 The Joint Overview and Scrutiny Committee is asked to consider the report and make comment on the savings proposals for Worthing Borough Council to the Joint Strategic Committee.
- 2.2 The Joint Strategic Committee is recommended to:
 - (i) Note the current 5 year forecast;
 - (ii) Note the committed growth items as set out in appendix 2;
 - (iii) Approve the proposed savings as set out in appendix 3;
- 2.3 The Joint Strategic Committee is asked to recommend to Council to use the following capital receipts to fund redundancy costs associated with the savings proposals outlined in appendix 3:

Adur: £14,000

Worthing: £300,000
- 2.4 The Joint Strategic Committee is asked to delegate to the Executive Member for Resources to release the funding when any redundancy proposals which generate savings to the revenue budget are approved.

3.0 CONTEXT

- 3.1 The Joint Strategic Committee considered the outline 5-year forecast for 2018/19 to 2022/23 and the Budget Strategy on 11th July 2017, which was subsequently adopted by full Council on 20th July 2017 (Adur District Council) and 18th July 2017 (Worthing Borough Council). The report identified the following cumulative shortfalls in funding for the respective General Funds:

3.0 CONTEXT

	2017/18	2018/19	2019/20	2020/21	2021/22
	£'000	£'000	£'000	£'000	£'000
Adur	1,486	1,848	3,120	3,357	3,824
Worthing	1,485	2,301	3,957	4,463	5,303

3.2 The report built on the strategy first proposed last year whose strategic aim was to ensure that the Councils would become community funded by 2020 reliant, by then, only on income from trading and commercial activities, council tax income and business rate income.

3.3 With this strategy in mind, the Councils have set-up several strategic programmes which are responsible for taking forward key initiatives aimed at delivering savings for the future:

1. The Major Projects Board will lead on delivering regeneration projects to increase employment space and additional housing;
2. The Digital Programme will lead on the delivery of the Digital Strategy and ensure that the benefits are realised from this programme of work;
3. The Strategic Asset Management Programme will lead on delivering the income growth associated with the Strategic Property Fund and any proposed new developments; and
4. The Commercial Programme will lead on the delivery of the income growth from commercial services and seek to improve the customer experience.

3.4 For 2018/19 the Digital Programme, the Commercial Programme and the Strategic Asset Management Programmes were again set explicit targets as part of the budget strategy.

a. Digital Programme (DP)

The Digital Programme successfully delivered £379k annual savings the first two years saving targets (£198k in 2016/17 and in £181k in 2017/18) as part of a three year programme which sought to deliver savings of £200k per year following the significant investment in the Council's digital strategy. To achieve savings so quickly is a significant achievement, and it is believed that the programme will continue to deliver savings over the medium term. It has now been set the following target for 2018/19 and beyond:

	2018/19	2019/20	2020/21	2021/22 and beyond
	£'000	£'000	£'000	£'000
Annual Savings	200	200	200	-
Cumulative impact	200	400	600	600

3.0 CONTEXT

a. Digital Programme (DP)

The digital programme is now being re-scoped into a service design programme, in recognition of the maturing approach at Adur & Worthing. This is successfully helping service areas undertake more fundamental customer-centred change, such as in the current preventing homelessness project. With digital capabilities now established (the ability to design and build our own digital products) our projects are becoming about deeper, customer-centred service change, which almost always require significant digital transformations.

b. Commercial Programme (CP)

The commercial programme involves close monitoring of key existing income streams, and progress against the annual growth target of £600k per annum.

Over the past two years income has grown by £1,484k (£798k in 2016/17 and £686k in 2017/18), well exceeding target.

	2018/19	2019/20	2020/21	2021/22	2022/23
	£'000	£'000	£'000	£'000	£'000
Annual Savings	600	600	600	600	600
Cumulative impact	600	1,200	1,800	2,400	3,000

The commercial programme has recently begun three initiatives to help drive further success, including the development of new business opportunities. In October 2017, our commercial managers received input and training from the specialist advisor who supported Aylesbury Vale DC with its commercial strategy, and this group of managers are now developing the ideas that emerged further.

The Director for Digital & Resources has also commissioned a 'health check' analysis of our existing income streams to test against market conditions, establish a more accurate medium term forecast and risk analysis, and identify any opportunities to drive growth further.

A third initiative will develop a stronger, and earlier-in-the-cycle business planning approach, and this will be commenced early in the new year, building on our existing Service Planning approach. This initiative aims to support our managers to focus more on driving up income, and managing down direct costs, as with any business. But our approach will also embed the importance of driving social and environmental outcomes, to ensure we fulfill our longer term ambitions for our places.

3.0 CONTEXT

c. Strategic Asset Management Programme (SAMP)

Both Councils have committed to significant investment in Commercial property either through direct purchase or by development over the next five years with the aim of increasing income from the Councils' property portfolio.

This investment is estimated to produce net additional income as follows for the two Councils:

	2018/19	2019/20	2020/21	2021/22	2022/23
	£'000	£'000	£'000	£'000	£'000
Adur District Council:					
Annual Savings	493	200	305	200	150
Cumulative impact	493	693	998	1,198	1,348
Worthing Borough Council:					
Annual Savings	470	210	210	160	160
Cumulative impact	470	680	890	1,050	1,210

To date this year two properties for Worthing Borough Council have been purchased which will deliver net additional income of £176k per year.

One property has been purchased for Adur District Council which will deliver net additional income of £236k per year.

Members should be aware that the success in delivering the savings identified for 2018/19 are dependent on two factors:

- (i) Identifying suitable properties to purchase
- (ii) The current legislative framework remaining unchanged. The Treasury may prohibit borrowing for out of area acquisitions solely for investment purposes. We are still awaiting firm information on the new proposals. However, many of our purchases meet a dual purpose of both supporting economic regeneration projects and generating income.

The budget for 2018/19 assumes that only half of the funds released each year will be spent in year. This will be closely monitored and if the target is at risk then the Council will need to take corrective action to lever in the savings identified.

The overall success in delivering the savings targets are detailed at appendix 4 (DPB) and 5 (CB)

3.0 CONTEXT

- 3.5 The forecast has also been updated by information captured on “Service Plans” that have been introduced to forge a link between service planning and financial planning. The guidance was circulated to, and completed by, the Service Managers during the summer, and have been used to identify potential savings and committed growth items.
- 3.6 There has been no detailed budget consultation exercise this year as the current budget strategy was subject to a detailed consultation in 2016/17 and no substantive changes to this strategy are planned at this time.
- 3.7 This report represents the stage of the budgetary forecasting process whereby the Joint Overview and Scrutiny Committee are asked to consider and comment upon the progress in balancing the Worthing Borough Council budget before the Joint Strategic Committee consider and agree proposals for savings identified to date. Members of the Committee should be aware that at the time of writing some of the savings were still being verified and so the saving for each Council as a result of the options presented may change marginally. The minutes of the Joint Overview and Scrutiny Committee will be available for members of the JSC at the meeting.
- 3.8 There will be a further report after Christmas which will detail the final proposed budgets for the year, any further savings identified, and requests for investment into services and the amount to be drawn from reserves, if any. The proposed Council Tax increase for 2018/19 is scheduled to be considered by the respective Cabinets on 6th February 2018 (Adur District Council) and 5th February 2018 (Worthing Borough Council).

4.0 UPDATE OF OUTLINE 5-YEAR FORECAST

- 4.1 The updated forecast for the General Fund for both Councils is attached at Appendix 1. This has been revised in the light of latest information from Government, inflationary pressures, interest rates, and unavoidable service growth, offset by compensatory savings. This overall forecast will continue to change in the coming months as the detailed work on the budget progresses and once the details of the settlement to Local Government is known. As a result, the overall position will inevitably change over the next two months.
- 4.2 The likely shortfall in resources necessary to balance the budget over the five years, before consideration of any savings or growth proposals is now in the region of:

	2018/19	2019/20	2020/21	2021/22	2022/23
	£'000	£'000	£'000	£'000	£'000
Adur					
July Forecast	1,486	1,848	3,120	3,357	3,824
November Forecast	1,402	1,807	3,107	3,319	3,736
Reduction (-) / increase (+) in shortfall forecast	-84	-41	-13	-38	-88

4.0 UPDATE OF OUTLINE 5-YEAR FORECAST

	2018/19	2019/20	2020/21	2021/22	2022/23
	£'000	£'000	£'000	£'000	£'000
Worthing					
July Forecast	1,485	2,301	3,957	4,463	5,303
November Forecast	1,944	3,029	4,882	5,586	6,379
Reduction (-) / increase (+) in shortfall forecast	459	728	925	1,123	1,076

The main changes to the forecast for 2018/19 are summarised in the table below, which shows the changes since the last forecast.

Changes in Budgetary Shortfall/Savings since report to Joint Strategic Committee on 11th July 2017		
	Adur	Worthing
	£'000	£'000
Original 2018/19 budget shortfall	1,486	1,485
(a) Improvements to the income from Council Tax	-51	-144
(b) Further increase in the cost of the homelessness accommodation and support	7	122
(c) Reduction in expected level of New Homes Bonus	26	44
(d) Reduction in capital programme financing costs reflecting latest monitoring information.	-7	-15
(e) Reduction in Government Grant for Housing Benefit Administration and Council Tax Support Scheme	-	73
(f) Impact of major developments in Worthing Town Centre	-	247
(g) Net committed growth items identified by Service Heads (See Appendix 2)	62	289
(h) Removal of contingency budgets	-130	-170
Revised Budget Shortfall	1,393	1,931
(i) Potential savings identified to date (see Appendix 3)	-873	-1,552
(j) Expected income from Strategic Property Investment Fund	-493	-470
Resources in hand (-) / current shortfall	27	-91

4.0 UPDATE OF OUTLINE 5-YEAR FORECAST

4.3 Explanations of the movements shown in the table above are as follows:

(a) Council Tax base for 2018/19:

Following the completion of the Council Tax Base return (CTB1) for each Council, the Council Tax Base calculation has now been revisited. Both Council Tax bases are showing a higher level of growth than originally expected. This is largely due to three factors:

- i) Falling cost of Council Tax Support.
- ii) Greater than expected number of new dwellings completed particularly in the Worthing area (60 additional units in Adur and 21 additional units in Worthing)
- iii) Significant reduction in the number of Single Person Discounts awarded by Worthing Borough following a comprehensive review of all customers who were claiming the discount.

The Councils' Collection Funds are also expected to be in surplus at the year-end due to the level of property growth and the impact of falling discounts.

	Adur	Worthing
	£'000	£'000
Surplus expected by 31 st March 2018	25	393
Council share of surplus	4	54

(b) Increase in the costs associated with temporary and emergency accommodation:

There are two factors which are influencing the cost to the Councils.

- i) There has recently been a further increase in the caseload associated with homelessness. This trend is being experienced throughout the region and has led to an increase in competition for affordable housing solutions. This is a particular problem within the Worthing area.
- ii) The impact of the new Homelessness Reduction Act 2017 which places significantly more duties on the council in terms of assessment and accommodation. Whilst the Council has received some grant funding towards the impact of the new responsibilities. The funding released is unlikely to be sufficient to deal with cost pressures emerging as a result of the new responsibilities.

4.0 UPDATE OF OUTLINE 5-YEAR FORECAST

- (b) Increase in the costs associated with temporary and emergency accommodation:

	Adur	Worthing
	£'000	£'000
Expected additional cost	34	91
Less: Grant awarded	-27	-44
Net cost	7	47

- (c) Reduction in New Homes Bonus:

Following the completion of the Council Tax return, it is now possible to predict the amount of New Homes Bonus that the Councils are likely to receive. This is lower than expected and is due to a lower number of units being delivered by the end of September than expected coupled with an increase in the number of long-term empty properties.

Members are reminded that New Homes Bonus is now only awarded for properties built over a threshold which equals 0.4% of total Band D equivalent properties.

	Adur	Worthing
Number of new dwellings	110	374
Less: Increase in long-term empty properties	-37	-12
Net dwellings	73	362
Threshold below which New Homes Bonus is not paid	102	182
	£'000	£'000
New Homes Bonus:		
Updated forecast of New Homes Bonus	0	186
Original forecast	26	230
Reduction in grant	26	44

- (d) Capital Financing Costs

The cost of financing the capital programme has been recently reassessed following the most recent monitoring report. Re-profiling of some schemes into 2018/19 will reduce the expected cost of financing. The cost of financing the capital programme will be reassessed again in December.

- (e) Housing Benefit Grant – Worthing Borough Council

Housing Benefit and Council Tax Support Administration Grant continues to be reduced.

4.0 UPDATE OF OUTLINE 5-YEAR FORECAST

(f) Impact of major developments within Worthing town centre

Platforms for our Places outlines some key commitments with respect to major sites throughout Adur and Worthing, The Councils are committed to 'Investment in and delivery of Major Projects and key infrastructure'.

As part of this commitment, Worthing Borough Council has recently considered three potential projects:

- i) Actions required to facilitate the development of the Union Place site.
- ii) The development of a new health and wellbeing centre based on the car park at Worthing Town Hall.
- iii) The potential redevelopment of the Grafton site including the multi-story car park

Each of the projects will require funding in the short to medium term. The Grafton site, in particular, is the location of a number of council-owned income generating assets. The annual income from assets in the vicinity of Grafton car park is in excess of £750,000 per year, the car park alone generates over £425,000 per year

To ensure that the Council is well positioned to resource these projects and absorb the loss of any income as assets are temporarily closed or disposed of, the following amounts have been built into the Worthing budget:

	2018/19	2019/20	2020/21	2021/22	2022/23
	£'000	£'000	£'000	£'000	£'000
Worthing	247	447	647	847	847

Any resources that are not utilised in year will be used to fund the capital programme, reducing down the Council's requirement to borrow and thereby lowering the cost of financing the capital programme.

(g) Net Committed Growth Items Identified by Service Heads:

This is the sum total of financial effects identified via the Service Pro-formas. A full breakdown of the items identified is included within Appendix 2.

(h) Removal of contingency budget.

(i) Savings Identified by Service Heads:

This is the sum total of the savings proposals identified via the Service pro-formas. A full breakdown of the items identified is included within Appendix 3.

5.0 FUTURE STRANDS OF WORK

5.1 There are a number of strands of financial work still to be completed which will influence the final 2018/19 budget as follows:

(a) Settlement - Revenue support grant and New Homes Bonus:

The Local Government Finance Settlement is unlikely to be announced until late December. Consequently, the Council will not have final confirmation of the amount of grant that it will receive until late December or early January. However, the Council has submitted a four year efficiency plan to DCLG to secure certainty over government funding levels for the next two years.

Any New Homes Bonus will be confirmed as part of settlement.

(b) Business Rate Retention Scheme:

There was a revaluation of the business rates base in 2016/17. The Councils were expecting to see a high level of appeals in 2017/18, however to date few appeals are being made under the 'Check, Challenge, Appeal' process. As usual, much depends on the level of business rates appeals which remain difficult to predict.

A full reassessment of the business rate income will be made later in the year when a better estimate of the impact of the appeals can be made.

(c) Council Tax income:

The Councils will need to consider what level increase is to be made to Council Tax. The current forecast assumes a 2.0% increase for 2018/19. This is equivalent to an average (Band C) annual increase in the Councils' part of the Council Tax bill of £5.02 for a property in Adur District Council and £3.99 for a property in Worthing Borough Council.

5.2 A full update on these issues will be included in the January report.

6.0 CONSULTATION

6.1 The Council previously undertook a full consultation exercise to establish public support for the current budget strategy. In the light of this, no consultation exercise has been carried out this year.

6.2 Officers and members have been consulted on the development of the savings proposals contained within the report.

7.0 SAVING PROPOSALS

7.1 The proposed savings are attached at Appendix 3 for consideration. The total savings identified to date are:

	2018/19	2019/20	2020/21	2021/22	2022/23
	£'000	£'000	£'000	£'000	£'000
Adur					
Budget shortfall (as per appendix 1)	1,392	1,797	3,097	3,309	3,726
Savings identified to date	-1,366	-1,527	-1,832	-2,032	-2,182
Revised budget shortfall / Surplus (-)	26	270	1,265	1,277	1,544

	2018/19	2019/20	2020/21	2021/22	2022/23
	£'000	£'000	£'000	£'000	£'000
Worthing					
Budget shortfall (as per appendix 1)	1,931	3,016	4,869	5,573	6,366
Savings identified to date	-2,022	-2,264	-2,533	-2,752	-2,912
Revised budget shortfall / Surplus (-)	-91	752	2,336	2,821	3,454

7.2 This has been a successful savings exercise to date and the Councils are well positioned to set balanced budgets. The Councils have identified a significant amount of savings to meet the initial target; however Members should be aware that there is still some work to be completed which may impact on the final position.

7.3 The Councils have continued with the strategy comprising of three specific strands:

1. Investing in property
2. Commercialisation of services; and
3. Digitisation of services.

7.0 SAVING PROPOSALS

Both the Commercial and Digital Programmes have delivered the savings expected for 2018/19:

	Target	Actual	Under (-) / Over target
	£'000	£'000	£'000
Digital Programme	200	181	-19
Commercial Programme	600	707	107
TOTAL	800	888	88

7.4 Looking ahead to 2019/20 and beyond, the continuing financial pressure is not likely to ease, however the proposed strategy will contribute significantly to meeting this challenge easing the burden on individual services as follows:

	2019/20	2020/21	2021/22	2022/23
	£'000	£'000	£'000	£'000
Cumulative Budget shortfall (Appendix 1)				
Adur	1,392	1,797	3,097	3,309
Worthing	1,931	3,016	4,869	5,573
Total savings to be identified	3,323	4,813	7,966	8,882
Less: Savings identified for 2018/19	-3,388	-3,388	-3,388	-3,388
Savings yet to be identified	1,425	4,578	5,494	6,704
Future savings targets:				
Strategic Asset Management Programme	-401	-852	-1,203	-1,503
Commercial Programme	-600	-1,200	-1,800	-2,400
Digital Programme	-200	-400	-400	-400
Savings to be identified by Heads of Service	224	2,126	2,091	2,401
Annual savings to be identified by Heads of Service	224	1,902*	-36	310

* The financial pressure in 2020/21 reflects the identified need to invest in meeting the 2020 recycling targets, the expected withdrawal of funding for homelessness and the impact of the reduction in New Homes Bonus.

7.5 Funding the delivery of the savings proposals:

7.5.1 In the Autumn Statement 2015, the Chancellor announced that Councils would have the ability to fund initiatives designed to generate ongoing revenue savings in the delivery of public services from capital receipts (excluding Right to Buy receipts). The receipts had to be generated in the period 2016/17 to 2018/19. Full Council is required to approve the use of receipts for such a purpose.

7.0 SAVING PROPOSALS

7.5 Funding the delivery of the savings proposals:

7.5.2 A number of the proposals outlined in Appendix 3 will result in redundancy costs. In the past, the Council has funded these costs via the reserves. However, the reserves are more restricted now, and so it is proposed to fund some of these costs through the use of capital receipts.

7.5.3 Adur District Council has £14,000 capital receipts and Worthing Borough Council have £507,700 that could be used for this purpose and it is proposed that the following amounts are recommended to Council to be released to deliver the savings outlined in Appendix 3 of this report:

Adur District Council £14,000

Worthing Borough Council £300,000

8.0 OTHER BUDGET ISSUES

8.1 Housing Revenue Account

A full report on the Housing Revenue Account and the recommended rent levels will be considered by the Adur Executive in February 2018. It is intended that any savings identified by the Service Heads outlined within this report and identified by the Head for Housing will be the subject of consultation with the Executive Member for Customer Services, the Housing Management Board and the Adur Consultative Forum in the coming months.

9.0 CONCLUSION

9.1 The Councils continue to deal with the withdrawal of Government funding with no prospect of any easing of the financial pressure for the next few years. We await the Autumn Budget and the local Government Settlement in late November and early December which will give the Councils a strong indication of the direction of travel for the next few years.

9.2 The Councils are in a fairly strong position to set a balanced budget with minimal use of reserves for 2018/19 depending on the outcome of the settlement. The report to be presented to members after Christmas will bring together any last changes to the revenue budget, the impact of Comprehensive Spending Review, the final implications of settlement and the final forecast of business rate income.

10.0 FINANCIAL IMPLICATIONS

- 10.1 The financial implications associated with the development of the budgets are detailed throughout the report.

Finance Officer: Sarah Gobey

Date: 15th November 2017

11.0 LEGAL IMPLICATIONS

- 11.1 The Local Government Act 2003 requires that the Councils set a balanced budget. This report demonstrates how the Councils intend to meet that requirement for 2018/19
- 11.2 The Local Government Act 2003, Sections 16(2)(b) and 20: Treatment of costs as capital expenditure allows Councils to use any capital receipts generated in 2016/17 – 2018/19 to fund revenue expenditure which will generate an on-going saving via a direction from the Secretary of State which was issued on 17th December 2015.

Legal Officer: Richard Burraston

Date: 21st November 2017

Local Government Act 1972

Background Papers: 'Towards a Sustainable Future - Budget Strategy for the 2018/19 Budget' report to the Joint Strategic Committee on 13th July, 2017.

'Grafton Multi-Storey Car Park Redevelopment' report to the Joint Strategic Committee on 7th November, 2017.

'Health Related Development on Worthing Town Hall Car Park' report to the Joint Strategic Committee on 10th October, 2017.

Final Guidance of the Flexible Use of Capital Receipts – Department of Communities and Local Government

Contact Officer:

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SUSTAINABILITY AND RISK ASSESSMENT

1. ECONOMIC

Matter considered and no issues identified

2. SOCIAL

2.1 Social Value

Matter considered and no issues identified

2.2 Equality Issues

Matter considered and no issues identified

2.3 Community Safety Issues (Section 17)

Matter considered and no issues identified

2.4 Human Rights Issues

Matter considered and no issues identified

3. ENVIRONMENTAL

Matter considered and no issues identified

4. GOVERNANCE

Matter considered and no issues identified

ADUR DISTRICT COUNCIL - APPENDIX 2
Revenue Budget Summary Statement 2017/18 - 2022/23

	2017/18 Base	2018/19	2019/20	2020/21	2021/22	2022/23
	£'000	£'000	£'000	£'000	£'000	£'000
Net Spending to be Financed from Taxation						
Base budget	9,166	9,166	9,166	9,166	9,166	9,166
Annual Inflation						
Estimated inflation		324	644	961	1,265	1,572
One -off / non-recurring items						
Local Elections (held every other year)		43	(25)	45	(26)	47
Committed Growth						
Impact of Pension contribution changes		(33)	(30)	(31)	(32)	(33)
Loss of Housing Benefit Administration Grant		53	-	-	-	-
Impact of new arrangements for funding homelessness		-	-	184	184	184
Reduction in PCN income		65	65	65	65	65
New 2020 recycling targets		-	200	400	400	400
Additional waste and recycling round		91	91	91	91	91
Impact of Homelessness Reduction Act		7	7	7	7	7
Committed growth items identified by Heads of Service (see appendix 2)		61	61	61	61	61
Contingency		-	70	140	210	280
Impact of capital programme						
Financing costs		201	225	389	466	605
Additional income						
Investment income		(35)	(35)	(53)	(97)	(141)
Reopening of Riverside Car Park		-	(20)	(20)	(20)	(20)
Approved Growth items						
Provision for new growth items		-	60	120	180	240
Total Cabinet Member Requirements	9,166	9,943	10,479	11,525	11,920	12,524
Total Cabinet Member Requirements B/fwd	9,166	9,943	10,479	11,525	11,920	12,524
Baseline funding	1,650	1,703	1,764	1,799	1,835	1,872
Add: Retained additional business rates	405	615	639	327	334	340
Add: Share of previous year's surplus / (deficit)	331					
Adjusted Baseline funding	2,386	2,318	2,403	2,126	2,169	2,211
Revenue Support Grant	271	-	-	-	-	-
Council Tax						
Adjusted Council Tax income	5,849	6,027	6,163	6,301	6,442	6,587
Other grants						
Transitional Grant	73	-	-	-	-	-
New homes bonus (2013/14 - 2018/19)	244	-	-	-	-	-
New homes bonus (2014/15 - 2019/20)	107	-	-	-	-	-
New homes bonus (2015/16 - 2020/21)	86	86	-	-	-	-
New homes bonus (2016/17 -2019/20)	115	115	115	-	-	-
New homes bonus (2017/18 - 2020/21)	1	1	1	1	-	-
New homes bonus (2018/19- 2021/22)	-	-	-	-	-	-
Total NHB	553	202	116	1	-	-
Collection fund surplus/deficit (-)	34	4	-	-	-	-
Total other grants and contributions	660	206	116	1	-	-
Total Income from Grants and Taxation	9,166	8,551	8,682	8,428	8,611	8,798

ADUR DISTRICT COUNCIL - APPENDIX 2						
Revenue Budget Summary Statement 2017/18 - 2022/23						
(Surplus) / Shortfall in Resources	-	1,392	1,797	3,097	3,309	3,726
Contribution to (-) / Use of Reserves to Balance						
Capacity issues reserve	-	-	-	-	-	-
Total Income from Reserves	-	-	-	-	-	-
AMOUNT REQUIRED TO BALANCE BUDGET	-	1,392	1,797	3,097	3,309	3,726
Savings identified to date:						
Strategic Property Investment Fund						
Recent Acquisitions		77	77	77	77	77
Future property purchases		216	516	816	1,066	1,266
Proposed increase to 2017/18 programme		200	200	200	200	200
New office block		-	-	55	55	55
Provision for future voids			(100)	(150)	(200)	(250)
Commercial activities and commissioning						
Commercial and Property Board		236	236	236	236	236
Efficiency Measures						
Digital strategy		72	72	72	72	72
Restructures and service plan savings not included above						
		565	526	526	526	526
Total future initiatives identified		1,366	1,527	1,832	2,032	2,182
Cumulative savings still to be found/ (surplus)		26	270	1,265	1,277	1,544
Annual savings still to be found		26	244	995	12	267
Council Tax increase		2.00%	2.00%	2.00%	2.00%	2.00%
Average annual increase (Band D property)		£5.65	£5.76	£5.88	£5.99	£6.11
Average weekly increase (Band D property)		£0.11	£0.11	£0.11	£0.12	£0.12
Savings required in each year		1,392	405	1,300	211	418

WORTHING BOROUGH COUNCIL - APPENDIX 2
Revenue Budget Summary Statement 2017/18 - 2022/23

	2017/18	2018/19	2019/20	2020/21	2021/22	2022/23
	Base					
	£'000	£'000	£'000	£'000	£'000	£'000
Net Spending to be Financed from Taxation						
Base budget	13,468	13,468	13,468	13,468	13,468	13,468
(a) Annual Inflation						
Estimated inflation		533	1,064	1,592	2,099	2,607
(b) One -off / non-recurring items						
Local Elections (not held once every four years)		76	78	80	(50)	83
(c) Committed Growth / Cost reductions						
Impact of Pension Fund Triennial valuation		(212)	(272)	(275)	(281)	(287)
Impact of pension valuation for SDLT - Fall out of pension costs.		(18)	(36)	(54)	(72)	(72)
Additional waste and recycling round		164	164	164	164	164
Impact of increasing costs of homelessness		175	175	295	295	295
Impact of Homelessness Reduction Act		47	47	47	47	47
Planning income shortfall		50	50	50	50	50
New 2020 recycling targets		-	300	600	600	600
Loss of Housing Benefit Administration Grant		73	73	73	73	73
Committed growth items identified by Heads of Service		289	289	289	289	289
Contingency		-	80	160	240	320
(d) Impact of capital programme						
Financing costs - General Programme		386	397	433	512	660
Impact of land acquisitions and new developments at Union Place, Grafton, and town hall car park		247	447	647	847	847
(e) Additional income						
Investment income		(32)	(44)	(68)	(116)	(173)
(f) Approved Growth items						
Provision for new growth items		-	90	180	270	360
Total Cabinet Member Requirements	13,468	15,246	16,370	17,681	18,435	19,331
Baseline funding	2,514	2,595	2,687	2,741	2,796	2,852
Add: Net retained additional business rates	506	682	607	312	319	325
Add: Share of surplus /deficit (-)	-	-	-	-	-	-
Adjusted Baseline funding	3,020	3,277	3,294	3,053	3,115	3,177
Revenue Support Grant	453	8	-	-	-	-
Council Tax income						
Adjusted Council Tax income	8,498	8,791	9,002	9,219	9,441	9,669
Transitional Grant	100	-	-	-	-	-
New homes bonus (2013/14 - 2018/19)	220	-	-	-	-	-
New homes bonus (2014/15 - 2019/20)	170	-	-	-	-	-
New homes bonus (2015/16 - 2020/21)	246	246	-	-	-	-
New homes bonus (2016/17 -2019/20)	518	518	518	-	-	-
New homes bonus (2017/18 - 2020/21)	234	234	234	234	-	-
New homes bonus (2018/19- 2021/22)	-	186	186	186	186	-
New homes bonus (2019/20 - 2022/23)	-	-	120	120	120	120
Total New Homes Bonus	1,388	1,184	1,058	540	306	120

WORTHING BOROUGH COUNCIL - APPENDIX 2
Revenue Budget Summary Statement 2017/18 - 2022/23

	2017/18 Base	2018/19	2019/20	2020/21	2021/22	2022/23
	£'000	£'000	£'000	£'000	£'000	£'000
Total other grants and contributions	1,497	1,239	1,058	540	306	120
Total Income from Taxation	13,468	13,315	13,354	12,812	12,862	12,966
(Surplus) / Shortfall in Resources	-	1,931	3,016	4,869	5,573	6,366
AMOUNT REQUIRED TO BALANCE BUDGET	-	1,931	3,016	4,869	5,573	6,366
Savings identified to date:						
Strategic Property Investment Fund						
Recent Acquisitions		54	63	72	81	91
Future property purchases		216	517	768	969	1,169
Proposed increase to 2017/18 programme		200	200	200	200	200
Provision for future voids		-	(100)	(150)	(200)	(250)
Commercial activities and commissioning						
Commercial and Customer Board		592	592	592	592	592
Efficiency Measures						
Digital Strategy Board		108	108	108	108	108
Restructures and service plan savings not included above		852	809	809	809	809
Development of temporary accommodation supply (15 units of 1/2 bed)		-	-	59	118	118
Potential annual reduction in SDLT fees		-	75	75	75	75
		2,022	2,264	2,533	2,752	2,912
Cumulative savings still to be found		(91)	752	2,336	2,821	3,454
Annual savings still to be found		(91)	843	1,584	485	633
Council Tax increase		2.00%	2.00%	2.00%	2.00%	2.00%
Average annual increase (Band D property)		£4.49	£4.58	£4.67	£4.77	£4.86
Average weekly increase (Band D property)		£0.09	£0.09	£0.09	£0.09	£0.09
Savings required in each year		1,931	1,085	1,853	704	793

<u>Committed growth items</u>	2018/19					2019/20	2020/21	APPENDIX 2 Notes:	
	Joint	Adur			Worthing				Grand Total
	(Memo)	General fund	HRA	Total					
	£	£	£	£	£				£
COMMUNITIES									
Environment / Waste and Cleansing									
Increased disposal costs associated with trade waste		36,000		36,000	84,000	120,000	120,000	120,000	Above inflation increase in tipping charges together with an increase in increasing tonnage associated with additional business.
Income loss due to changes to franchise / concession					20,000	20,000	20,000	20,000	The loss of income in Parks is for Church House Grounds Tennis, Beach house Park and Marine Gardens Putting.
Loss of income to the Crematorium					120,000	120,000	120,000	120,000	Competition from funeral directors for Chapel services leading to a reduction in full service fees and an increase in cremation only fees
Wellbeing									
Delay in delivery of saving on the licencing service	25,000	10,000		10,000	15,000	25,000	0	0	Delay to delivery of new digital licencing service
Total for Communities Directorate	25,000	46,000	0	46,000	239,000	285,000	260,000	260,000	

<u>Committed growth items</u>	2018/19					2019/20	2020/21	APPENDIX 2 Notes:	
	Joint	Adur			Worthing				Grand Total
	(Memo)	General fund	HRA	Total					
£	£	£	£	£	£	£	£		
DIGITAL & RESOURCES									
Finance									
Annual contribution to WSCC refugee co-ordinator post		10,000		10,000	10,000	20,000	20,000	20,000	
Contribution to Safeguarding Boards	4,000	2,000		2,000	2,000	4,000	4,000	4,000	
Net increase in pension strain costs		0		0	5,290	5,290	5,290	5,290	
Net impact of the fall out of the loan arrangement fee net of the full year impact of interest income.		0		0	27,000	27,000	27,000	27,000	
Legal									
Increase costs arising from the reprourement of IKEN	9,000	3,600		3,600	5,400	9,000	9,000	9,000	
Total for Digital and Resources Directorate	13,000	15,600	0	15,600	49,690	65,290	65,290	65,290	
Total Committed Growth identified	38,000	61,600	0	61,600	288,690	350,290	325,290	325,290	
Allowance in budget	-50,000	-70,000		-70,000	-80,000	-150,000	-150,000	-150,000	
Over (-) / under provision	-12,000	-8,400	0	-8,400	208,690	200,290	175,290	175,290	

A one-off arrangement fee was charged in 2017/18 as part loan arrangement with Worthing Homes

Summary of savings received to date:

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint	Adur		Worthing					
	(Memo)	General fund	HRA	Total					
£	£	£	£	£	£	£	£		
CHIEF EXECUTIVE									
Fee income	12,000	4,800		4,800	7,200	12,000	12,000	12,000	
	12,000	4,800	0	4,800	7,200	12,000	12,000	12,000	
COMMUNITIES									
Director - Leisure support									
Net annual reduction in ACL expenditure		10,000		10,000		10,000	20,000	30,000	Recent renegotiations has confirmed that an annual reduction of £10k will continue to be delivered. £15k in 2018/19 but offset by potential additional maintenance costs of £5k.
	0	10,000	0	10,000	0	10,000	20,000	30,000	
Head of Environment / Head of Waste and Cleansing									
Floral display budget adjustment		2,500	0	2,500	7,500	10,000	10,000	10,000	New contract being let with reduced bedding in outlying areas which are being replaced with wildflower meadows. Town centre displays will remain unchanged.
Merger of the Environment and Waste Management teams	288,930	115,570		115,570	173,360	288,930	288,930	288,930	
Joint vehicle savings due to restructure	25,000	10,000		10,000	15,000	25,000	25,000	25,000	
Joint agency staff savings due to restructure	50,000	20,000		20,000	30,000	50,000	50,000	50,000	

Summary of savings received to date:

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint	Adur		Worthing					
	(Memo)	General fund	HRA	Total					
£	£	£	£	£	£	£	£		
Joint supplies & services savings	80,000	32,000		32,000	48,000	80,000	80,000	80,000	
Charge for delivery of bins for domestic refuse est 100x£10	1,000	360		360	640	1,000	1,000	1,000	
Charge for delivery of bins for recycling est 300 x £10.00	3,000	1,090		1,090	1,910	3,000	3,000	3,000	
Increase in net income from trade waste		31,650		31,650	73,850	105,500	105,500	105,500	
Incr'se in parks & rec. grounds fees & charges income		10,100		10,100	12,000	22,100	22,100	22,100	
Increase in beach hut rental income		8,000		8,000	0	8,000	8,000	8,000	
New rental income for recreation grounds		20,000		20,000	5,500	25,500	25,500	25,500	Adur Outdoor Activity Centre
Allotment rental income		0		0	4,600	4,600	4,600	4,600	
Increase in compound and land rentals		0		0	10,000	10,000	10,000	10,000	
Increase in price of Garden Waste Bins from £70 - £75	115,500	42,040		42,040	73,460	115,500	115,500	115,500	
Increase take up of new bins - 1000 extra bins	80,000	29,120		29,120	50,880	80,000			
Increase Garden sack from £1.00p to £1.20p	28,900	10,520		10,520	18,380	28,900	28,900	28,900	
Bulky waste price increase above 2.5% inflationary allowance	1,440	520		520	920	1,440	1,440	1,440	
Increase in coast protection fees	10,000	4,000		4,000	6,000	10,000	10,000	10,000	
Reduced grounds maintenance costs		20,000		20,000		20,000	20,000	20,000	
Proposed increase in cremation fees					120,000	120,000	120,000	120,000	
	683,770	357,470	0	357,470	652,000	1,009,470	929,470	929,470	

Summary of savings received to date:

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint	Adur		Worthing					
	(Memo)	General fund	HRA	Total					
£	£	£	£	£	£	£	£		
Head of Wellbeing Out-of- hours service		2,480		2,480	14,020	16,500	16,500	16,500	This contract was retendered and as a result savings on the value of this service were achieved for 17/18 and 18/19 and have been identified as savings for 18/19.
Dial-a-ride		4,240		4,240	10,830	15,070	15,070	15,070	The current budget for this service is £65,070 (Worthing £40,830, Adur £24,240) and is under review. It has been identified that this service is not meeting the requirements of all our communities and will be one of the projects that is developed as part of the co-design programme.
Adur Grants		50,000		50,000	0	50,000	50,000	50,000	The current grant budget for Adur Grants is £77,390 and is granted to voluntary organisations who meet/ address the outcomes identified in Councils priorities. The identified saving would reduce this fund by £50,000, which would still allow a programme of grants, just at a reduced scale in line with current demand for this type of funding. Consideration would also need to be given to the £10K currently top sliced to Guild Care as this would reduce the available grant funds to £17,390 that organisations could apply for. Therefore £50K is offered as savings.

Summary of savings received to date:

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint	Adur		Worthing					
	(Memo)	General fund	HRA	Total					
£	£	£	£	£	£	£			
Guild Care				0	8,990	8,990	8,990	8,990	<p>The current budget for this grant is £24k (Worthing), (£10k Adur), together with £73K from the Wellbeing Hubs and is under contract until March 18 (£107K in Total). The fund provides for service provision around isolation and ill health of those aged over 65 years (Incl. slips, trips and falls). In the Communities & Wellbeing intelligence & evidence framework we identified that isolation should be considered for all ages and therefore there is a need to review the beneficiaries of this service. It should be noted that approx. £73K in addition to the Worthing grant is given to this service from the Wellbeing Hubs, which will see a reduction in their grant in 18/19 to fund this service. Please also see note above under Adur Grants re: additional £10K that is awarded for this service Therefore the service provision is being reviewed to incorporate all age isolation/ loneliness and that from Worthing a saving of £8,990 is offered.</p>

Summary of savings received to date:

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint (Memo)	Adur		Worthing					
	£	General fund	HRA	Total	£	£	£	£	
Council Rooms				0	2,790	2,790	2,790	2,790	The hiring of rooms by voluntary/ charity organisations and the rates charged for this has been reviewed with a Council policy for Worthing being put in place. Therefore here is no longer a need to provide funding to subsidise this activity and is offered as savings.
Potential restructuring savings	66,330	26,530		26,530	39,800	66,330	66,330	66,330	A salary saving of £15,842 has already been identified already due to an Environmental Health Technician reducing from full-time hours to part-time. The remainder of this salary saving will be found from a review of the staffing costs across the teams.
	66,330	83,250	0	83,250	76,430	159,680	159,680	159,680	
Total for Communities Directorate	750,100	450,720	0	450,720	728,430	1,179,150	1,109,150	1,119,150	

Summary of savings received to date:

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint	Adur		Worthing	Grand Total				
	(Memo)	General fund	HRA	Total					
£	£	£	£	£	£	£	£		
DIGITAL & RESOURCES									
Head of Finance									
Reduction in pension payments		19,550		19,550		19,550	19,550	19,550	Fall out of pension costs
Review of corporate budgets		21,040	6,640	27,680	21,700	49,380	49,380	49,380	Deletion of unused budgets
Deletion of subscription to SE employers		3,190	1,010	4,200	5,030	9,230	9,230	9,230	
Deletion of Splashpoint maintenance budget				0	10,500	10,500	10,500	10,500	Site now sold
Increase in Worthing HB overpayment income				0	80,000	80,000	80,000	80,000	New integrated approach to debt recovery proposed - transfer of legal staff to facilitate improved working. Based on current improved performance
Exchequer - Review of structure	27,740	11,100		11,100	16,640	27,740	27,740	27,740	The implementation of the new FMS system should transform how the service is delivered
Creation of apprentice post in accountancy	1,290	520		520	770	1,290	1,290	1,290	Reconfiguration of vacant post
Extension of SDLT payroll services contract for 6 - 9 months	20,270	8,110		8,110	12,160	20,270	0	0	Extended to December 2018
Deletion of unused internal audit budgets	490	200		200	290	490	490	490	
Treasury management - Joint service with another Council	15,000	6,000		6,000	9,000	15,000	15,000	15,000	
	64,790	69,710	7,650	77,360	156,090	233,450	213,180	213,180	

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint (Memo)	Adur		Worthing					
	£	General fund	HRA	Total	£	£	£	£	
Head of Legal									
Increased income from legal work undertaken for other external bodies including Crawley Borough Council, Arun District Council and Mid Sussex District Council	8,000	3,200		3,200	4,800	8,000	8,000	8,000	
Increased income from legal work undertaken for Housing and funded by the Housing Revenue Account.	15,000	6,000		6,000	9,000	15,000	15,000	15,000	
	23,000	9,200	0	9,200	13,800	23,000	23,000	23,000	
Head of Digital and Design									
Changes to maintenance budgets following the dissolution of CenSus and the move to the Cloud	153,000	61,200		61,200	91,800	153,000	153,000	153,000	
	153,000	61,200	0	61,200	91,800	153,000	153,000	153,000	
Head of People									
Deletion of Business Support Officer	11,580	4,630		4,630	6,950	11,580	11,580	11,580	
	11,580	4,630	0	4,630	6,950	11,580	11,580	11,580	

Summary of savings received to date:

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint	Adur		Worthing					
	(Memo)	General fund	HRA	Total					
£	£	£	£	£	£	£	£		
Head of Business and Technical Services									
Bus shelter cleaning		2,000		2,000	0	2,000	2,000	2,000	
Restructure of engineering and surveying services combined with a review of amount charged to capital programme	94,780	37,910		37,910	56,870	94,780	94,780	94,780	
Review of budgets	10,130	4,050		4,050	6,080	10,130	10,130	10,130	
	104,910	43,960	0	43,960	62,950	106,910	106,910	106,910	
Head of Customer Engagement									
Review of validation deal in MSCP car parks increasing all day parking from £4 to £5 for people working in the BN11 area		0		0	47,000	47,000	47,000	47,000	
Interim Tariff review MSCPs to fund a programme of improvement works.		0		0	102,000	102,000	102,000	102,000	The Council is undertaking a programme of improvement works to the car parks over the next three years.
Review of surface car park tariff (town centre/ long stay sites)		0		0	22,650	22,650	22,650	22,650	

Summary of savings received to date:

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint	Adur		Worthing					
	(Memo)	General fund	HRA	Total					
£	£	£	£	£	£	£	£		
Head of Customer Engagement									
Customer Service Reorganisation (completed)	22,000	8,800		8,800	13,200	22,000	22,000	22,000	
Parking Service Reorganisation	16,000	6,400		6,400	9,600	16,000	16,000	16,000	
Deletion of Commercial Manager Post (Vacant).	40,000	16,000		16,000	24,000	40,000	40,000	40,000	
	78,000	31,200	0	31,200	218,450	249,650	249,650	249,650	
Head of Revenues and									
Creation of a joint Adur-Worthing Revenues & Benefits Service		37,000		37,000		37,000	37,000	37,000	
Additional income from Adur HB overpayments		11,000		11,000		11,000	11,000	11,000	New integrated approach to debt recovery proposed, combined with sharing of good practice from Worthing BC
	0	48,000	0	48,000	0	48,000	48,000	48,000	
Total for Digital and Resources Directorate	412,280	258,700	7,650	266,350	536,240	802,590	782,320	782,320	

Summary of savings received to date:

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint	Adur		Worthing					
	(Memo)	General fund	HRA	Total					
£	£	£	£	£	£	£	£		
ECONOMY									
Head of Growth									
Further saving from digitisation of service	10,000	4,000		4,000	6,000	10,000	10,000	10,000	
Increase in pre-application fees	20,000	8,000		8,000	12,000	20,000	20,000	20,000	
Reduction in operational costs to offset shortfall in resources in Worthing				0	50,000	50,000	50,000	50,000	
	30,000	12,000	0	12,000	68,000	80,000	80,000	80,000	
Head of Place & Investment									
Additional salary savings from restructure - now completed	18,460	7,380		7,380	11,080	18,460	18,460	18,460	
Additional rental income from commercial property portfolios		5,000		5,000	6,000	11,000	11,000	11,000	
	18,460	12,380	0	12,380	17,080	29,460	29,460	29,460	

Summary of savings received to date:

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint	Adur		Worthing					
	(Memo)	General fund	HRA	Total					
£	£	£	£	£	£	£	£		
Head of Culture Additional income				0	8,000	8,000	8,000	8,000	
	0	0	0	0	8,000	8,000	8,000	8,000	
Head of Building Control and Land Charges									
Re-structure of building control to address savings and offset under recovery of fee's (salary savings and continuation of underspend)	86,000	34,400		34,400	51,600	86,000	86,000	86,000	
Deletion of BC Support post	14,000	5,600		5,600	8,400	14,000	14,000	14,000	
Removal of unused overtime budget	5,000	2,000		2,000	3,000	5,000	5,000	5,000	
	105,000	42,000	0	42,000	63,000	105,000	105,000	105,000	
Total for Economy Directorate	153,460	66,380	0	66,380	156,080	222,460	222,460	222,460	

Summary of savings received to date:

Savings	2018/19					Grand Total	2019/20	2020/21	Notes:
	Joint (Memo)	Adur		Worthing					
	£	General fund	HRA	Total	£	£	£	£	
Corporate savings									
Chief Executive secondment	61,000	30,500		30,500	30,500	61,000	0	0	Secondment for 2 days a week
Rationalisation of senior management team	155,360	62,140		62,140	93,220	155,360	155,360	155,360	Vacant director and PA posts. Some resources held back for re-evaluation of existing posts.
Total Corporate initiatives	216,360	92,640	0	92,640	123,720	216,360	155,360	155,360	
OVERALL TOTAL	1,544,200	873,240	7,650	880,890	1,551,670	2,432,560	2,281,290	2,291,290	

Savings identified by the Digital Programme

	2018/19						2019/20	2020/21
	Joint	Adur			Worthing	Grand Total		
	(Memo)	General fund	HRA	Total				
£'000	£'000	£'000	£'000	£'000	£'000	£'000	£'000	
Exchequer - Review of structure	27,740	11,100	0	11,100	16,640	27,740	27,740	27,740
Changes to maintenance budgets following the dissolution of CenSus and the move to the Cloud	153,000	61,200	0	61,200	91,800	153,000	153,000	153,000
	180,740	72,300	0	72,300	108,440	180,740	180,740	180,740
Target						200,000	400,000	600,000
Over / Under (-) target						-19,260	-219,260	-419,260

	2018/19					2019/20	2020/21	
	Joint	Adur			Worthing			Grand Total
	(Memo)	General fund	HRA	Total				
	£'000	£'000	£'000	£'000	£'000			£'000
Development of existing businesses								
Fee income for communications	12,000	4,800	0	4,800	7,200	12,000	12,000	
Charge for delivery of bins for domestic refuse est 100x£10	1,000	360	0	360	640	1,000	1,000	
Charge for delivery of bins for recycling est 300 x £10.00	3,000	1,090	0	1,090	1,910	3,000	3,000	
Increase in net income from trade waste	0	31,650	0	31,650	73,850	105,500	105,500	
Incr'se in parks & rec. grounds fees & charges income	0	10,100	0	10,100	12,000	22,100	22,100	
Increase in beach hut rental income	0	8,000	0	8,000	0	8,000	8,000	
New rental income for recreation grounds	0	20,000	0	20,000	5,500	25,500	25,500	
Allotment rental income	0	0	0	0	4,600	4,600	4,600	
Increase in compound and land rentals	0	0	0	0	10,000	10,000	10,000	
Increase in price of Garden Waste Bins from £70 - £75	115,500	42,040	0	42,040	73,460	115,500	115,500	
Increase take up of new bins - 1000 extra bins	80,000	29,120	0	29,120	50,880	80,000	0	
Increase Garden sack from £1.00p to £1.20p	28,900	10,520	0	10,520	18,380	28,900	28,900	
Bulky waste price increase above 2.5% inflationary allowance	1,440	520	0	520	920	1,440	1,440	
Increase in coast protection fees	10,000	4,000	0	4,000	6,000	10,000	10,000	
Proposed increase in cremation fees	0	0	0	0	120,000	120,000	120,000	
Less: Expected income loss due to competition from funeral directors					-120,000	-120,000	-120,000	
Review of validation deal in MSCP car parks increasing all day parking from £4 to £5 for people working in the BN11 area	0	0	0	0	47,000	47,000	47,000	
Interim Tariff review MSCPs to fund a programme of improvement works.	0	0	0	0	102,000	102,000	102,000	
Review of surface car park tariff (town centre/ long stay sites)	0	0	0	0	22,650	22,650	22,650	
Extension of SDLT payroll services contract for 6 - 9 months	20,270	8,110	0	8,110	12,160	20,270	0	
Increased income from legal work undertaken for other external bodies including Crawley Borough Council, Arun District Council and Mid Sussex District Council	8,000	3,200	0	3,200	4,800	8,000	8,000	
Increase in pre-application fees	20,000	8,000	0	8,000	12,000	20,000	20,000	
Theatres additional income	0	0	0	0	8,000	8,000	8,000	

	2018/19					2019/20	2020/21	
	Joint	Adur			Worthing			Grand Total
	(Memo)	General fund	HRA	Total				
£'000	£'000	£'000	£'000	£'000	£'000	£'000		
Recommissioning of services								
Review of Revenues and Benefits Service	0	37,000	0	37,000	0	37,000	37,000	
New Business Opportunities								
Treasury management - Joint service with another Council	15,000	6,000	0	6,000	9,000	15,000	15,000	
	315,110	224,510	0	224,510	482,950	707,460	607,190	
Target						600,000	1,200,000	
Over / Under (-) target						107,460	-592,810	



**INVESTING IN SERVICE DELIVERY: CAPITAL INVESTMENT PROGRAMME
2018/19 – 2020/21
REPORT BY DIRECTOR FOR DIGITAL AND RESOURCES**

EXECUTIVE SUMMARY

1. PURPOSE

- 1.1 The report recommends the schemes for inclusion in the overall Capital Investment Programme for the three years 2018/19 - 2020/2021 for Adur District Council, Worthing Borough Council and the Joint Strategic Committee.
- 1.2 The report informs the Joint Strategic Committee of the resources available for future capital investment, and updates Members about the financing of the proposed three-year programmes.
- 1.3 The following appendices have been attached to the report:
- (i) **Appendix 1** The approved joint capital scheme prioritisation system;
 - (ii) **Appendix 2** The Adur District Council proposed programme of new General Fund schemes for 2018/19 – 2020/21 which are recommended for approval;
 - (iii) **Appendix 3** The Worthing Borough Council proposed programme of new General Fund schemes for 2018/19 – 2020/21 which are recommended for approval;
 - (iv) **Appendix 4** The Joint Strategic Committee proposed programme of new Adur District Council and Worthing Borough Council partnership schemes, which is recommended for approval;
 - (v) **Appendix 5** The Adur District Council proposed Adur Homes Housing Renovation Programme;
 - (vi) **Appendix 6** Amendments and additions to the Adur District Council Reserve List.
 - (vii) **Appendix 7** Amendments and additions to the Worthing Borough Council Reserve List.
 - (viii) **Appendix 8** Adur District Council Draft CIP 2017/18 – 2020/21.
 - (ix) **Appendix 9** Worthing Borough Council Draft CIP 2017/18 – 2020/21.

EXECUTIVE SUMMARY

2. RECOMMENDATIONS:

2.1 The Joint Strategic Committee is recommended to:

- (a) Consider the three General Fund Capital Investment Programmes for the three-year period 2018/19 to 2020/21 and confirm the schemes to be included for 2018/19 and 2019/20 as detailed in Appendix 2, 3 and 4;
- (b) Note the approved the Adur Housing Renovation Programme for 2018/19 as detailed at Appendix 5;
- (c) Agree the amendments and additions to the reserve lists as detailed in Appendices 6 and 7;
- (d) Recommend the full programmes for approval by the respective Councils on the 14th December 2017 (Adur) and 19th December 2017 (Worthing) as detailed in Appendices 8 and 9.

3.0 CONTEXT

3.1 The Adur and Worthing Capital Strategy 2017 - 2020 was updated and agreed by the Joint Strategic Committee (JSC) on 11th July, 2017. The financial impact of the proposed Capital Investment Programme was set out in the outline forecast included in the "Towards a Sustainable Future - Budget Strategy for the 2018/19 Budget" report. The Budget Strategy was agreed by JSC at the same meeting.

3.2 The Capital and Budget Strategies set out the following funding criteria:

- (a) A maximum level of funding available per year for the next 5 years to fund new General Fund schemes:

Adur District Council	£1.0m (plus £5.2m in 2018/19 for the Housing Investment Programme)
Worthing Borough Council:	£2.0m

- (b) The Budget Strategy highlighted concerns about affordability in the medium term. Members of both Councils were made aware that the number, age and condition of both Councils' assets continue to be a cause for concern. The funding of the programmes is to be comprised of prudential borrowing, capital grants, revenue/reserve funding and capital receipts.
- (c) Additional capital expenditure will only be agreed where additional funding from capital grants, contributions, earmarked receipts, or use of reserves has been secured. Alternatively, expenditure can be funded via approved additional prudential borrowing provided that the revenue consequences of such borrowing can be met from within existing budgets

3.0 CONTEXT

3.3 The Capital Strategy agreed in July 2017 introduced a new approach to setting the Capital Investment Programme. The programme is now set on a two year basis to enable better programming of schemes and to ensure cost effective procurement is undertaken. The Strategy also included the following changes to resource allocations:

- An increase in the amount set aside for partnership schemes of £200,000 to fund the planned vehicle replacements.
- A decrease in the amount set aside for essential IT replacement of £50,000 following the decision to move away from the CenSus partnership.
- An increase in the Strategic Property Investment Fund to £25m for each Council to support the delivery of the Budget Strategy.

3.4 As the Capital Strategy explained, the top slicing of the capital programmes in each year to ensure funding for key strategic issues such as ICT and the other partnership programmes will mean that, of the overall resources available in 2018/19, only the following resources will remain for other schemes:

- **Adur District Council:** £489,000
- **Worthing Borough Council:** £1,261,000

3.5 In addition to the resources released by the Capital Strategy, it was agreed by Members at the JSC on the 7th November 2017 that the expected underspend within 2017/18 Worthing Borough Council programme would be used to support the proposed 2018/19 and 2019/20 programme. This adds a further £383,860 to the overall amount to be allocated.

4.0 STRATEGIC ISSUES AFFECTING THE DEVELOPMENT OF THE PROGRAMME:

4.1 The following paragraphs are an update on the key strategic issues which affect the development of the capital programme:

(a) **Corporate Condition Surveys**

There is currently a project to review of all our assets across Adur and Worthing. This has identified the Councils have significant numbers of assets - over 7,000 in total. The assets range from our main corporate buildings and premises such as Worthing Town Hall, Portland House, Shoreham Centre, and Commerce Way Depot to theatres, leisure facilities, cemeteries, Crematorium, car parks and public conveniences. A large proportion of these assets are leased out to tenants.

As part of this project, Officers are identifying a priority schedule of built assets which are to have a condition survey. Currently there is very limited information available on the condition of our assets. The surveys will help inform our future asset management strategy. This information is also key to developing our future revenue maintenance and capital investment programmes.

4.0 STRATEGIC ISSUES AFFECTING THE DEVELOPMENT OF THE PROGRAMME:

(a) **Corporate Condition Surveys**

These condition surveys will be externally commissioned. Currently the Technical Services team are working on the level of detail required from these surveys. The work will commence in early 2018 and a prioritised programme is to be agreed. However, our main public buildings will be surveyed first.

Condition surveys have been completed this year for our Worthing Multi Storey Car Parks and a programme of work agreed using this information. This is discussed in more detail below.

(b) **Adur and Worthing Affordable Housing**

The need for a budget provision:

The Councils have a duty to assess and deal with housing need. They have a Core Strategy requiring affordable provision on new housing developments. Both Councils have capital receipts and S106 receipts set aside which can be used to fund affordable housing. This is a useful source of funding to top-up schemes part funded by other partners, in order to ensure that schemes are delivered and residents can be moved from the Housing Register.

The use of the Councils' own funding to enable affordable housing development is becoming increasingly important as the more traditional funding sources, such as the Homes and Communities Agency (HCA) grants have decreased in recent years. The Housing Strategy targets 120 new affordable homes per annum.

The Councils continue to work closely with our Registered Provider (RP) partners to find and part fund sites where there is a compelling case. It is important to sustain an ongoing budget to enable the Councils to facilitate new schemes where appropriate when a site becomes available.

The more affordable homes that are available, the less potential pressure there will be on the authority to source and pay for temporary and emergency accommodation. However, the pace of development means that the impact of new homes in any given year on the cost of temporary accommodation is fairly marginal. The demand for affordable homes still outstrips current supply.

4.0 STRATEGIC ISSUES AFFECTING THE DEVELOPMENT OF THE PROGRAMME:

(b) Adur and Worthing Affordable Housing

The Homes and Communities Agency (HCA) contributions to housing developments:

The £2.8 billion Affordable Homes Programme (AHP) 2015-18 functions in a similar way to the 2011-15 programme which saw a significantly reduced budget from previous programmes. Registered Providers who register with the programme will be expected to relet an increasing number of current properties at the “affordable rent” level, which is up to 80% of open market rents. This is aimed at ensuring that Registered Social Landlords (RSLs) can use the increased rental stream to borrow more and thus save capital grant funding. Grant levels under the AHP programme are circa £20-25,000 per rented unit, which is similar to the previous programme though the HCA is clear that it will not fund housing which is let at less than 80% of open market rent.

Future funding streams

The Autumn Budget 2017 has announced a series of measures designed to support the delivery of additional housing. These included:

- £630 million small sites fund to support the delivery of 40,000 homes.
- A further £2.7bn to more than double the Housing Infrastructure Fund.
- £400 million [of loan funding] for estate regeneration which can be used to transform run-down neighbourhoods and provide new homes in high-demand areas.
- A £1.1 billion fund to unlock strategic sites, including new settlements and urban regeneration schemes.

Whilst the detail is unknown at the moment, the measures should increase the supply of affordable dwellings.

(c) Adur Homes Investment Programme

The condition surveys of the housing stock have revealed that Adur District Council needs to invest over £33m in the next 5 years. The programme approved recently by JSC addresses the most immediate of the issues identified in 2017/18 and 2018/19, further work is underway to develop the programme for the following three years.

However, the amount that can be invested in the housing stock is constrained by the following factors:

4.0 STRATEGIC ISSUES AFFECTING THE DEVELOPMENT OF THE PROGRAMME:

(c) **Adur Homes Investment Programme**

- i) The affordability of any debt repayments to the Housing Revenue Account (HRA) due to the impact of rent limitation. Rents are due to fall by 1% per year in 2018/19 and 2019/20 which reduces income to the Housing Revenue Account by some £500,000 per year.
- ii) The HRA has a debt cap which limits the maximum amount that can be borrowed to £68.9m. Whilst there is currently significant headroom, the increased level of investment in the Housing Stock will need to be funded by borrowing. It is estimated that by addressing the backlog maintenance over the next 5 years will mean borrowing significant sums and by 2025/26 the Council will have reached the maximum borrowing level.

Consequently the Council will be faced with some difficult choices as it seeks to balance the need to address the basic condition of the stock with the need to fund improvements or to invest in new development.

(d) **Worthing Borough Council – Multi Storey Car Parks (MSCPs)**

As part of the Worthing's economic regeneration programme, there will be changes to parking infrastructure in the short to medium term. In relation to council owned car parks these include:

- Demolition of Teville Gate MSCP (344 spaces/ currently reduced to 114 spaces by partial closure) in the near future which is to be replaced with a smaller surface car park.
- Redevelopment of Grafton MSCP (450 spaces) with an indicative time-scale of 3 to 5 years. It is envisaged that the new development on the site will include the replacement of some of the current parking capacity.
- Retention of Buckingham Road (288 spaces) and High Street (644 spaces) car parks.

The recent condition surveys have confirmed some long term concerns with regards to the condition of the structures of some of the MSCPs. Members considered the draft programme of works to the car parks at the Joint Strategic Committee on 4th April 2017. Below is the indicative investment required for the current three years of the capital programme:

4.0 STRATEGIC ISSUES AFFECTING THE DEVELOPMENT OF THE PROGRAMME:

(d) Worthing Borough Council – Multi Storey Car Parks (MSCPs)

	2017/18	2018/19	2019/20
	£	£	£
1. Total for Grafton MSCP	£787,520	£601,440	£120,960
2. Total for Buckingham MSCP	£202,250	£140,000	£5,600
3. Total for High Street MSCP	£403,960	£299,200	£134,400
OVERALL TOTAL	£1,393,730	£1,040,640	£260,960

The majority of the investment is allocated to concrete repairs in Grafton MSCP to keep it operational for the medium term. These works were identified from the recent condition surveys. The remaining funding will be used for lift replacements at Buckingham Road, replacement of CCTV, application of protective coatings and some aesthetic improvements to stairwells and the entrance lobbies mainly at Buckingham Road and High Street.

However to put this level of investment into some context, all of the main car parks generate significant annual profit which justifies the level of spend currently being incurred:

Net annual income	2017/18 budget
	£'000
Grafton MSCP	427
Buckingham MSCP	146
High Street MSCP	368
Total net income	941

In addition to these works an invest to save business plan has been agreed to install LED lighting in Buckingham and High Street MSCPs, which is now underway.

Buckingham Road and High Street car parks are to be retained in the long term and to this end a spend to save business case is being developed for these sites to inform how they can be further upgraded and future proofed to improve the experience for customers and support the regeneration of the town. It is anticipated that the business case will be presented to Members by the end of the financial year.

4.0 STRATEGIC ISSUES AFFECTING THE DEVELOPMENT OF THE PROGRAMME:

(e) Public conveniences

The Capital Investment Programme generally includes a provision to fund minor refurbishment of the public conveniences in Adur and Worthing. The programme recommended for approval includes the following sums:

	2018/19	2019/20	2020/21
	£'000	£'000	£'000
Adur	50	50	50
Worthing	100	100	100

The condition of the public toilets is kept under review through regular inspections by our own Cleansing section who monitor the standards of cleaning currently carried out by an external cleaning contractor (this service is soon to be bought in house), and the Technical Service team who will deal with any responsive repairs or vandalism issues.

The corporate condition survey work currently being commissioned will include the public conveniences. This will help us to prioritise future capital and revenue expenditure. Until we have this information (anticipated in Spring 2018), Technical Services have identified a priority list of sites across Adur and Worthing using local knowledge. This list has been discussed with each Executive Member for Environment.

The following list indicates the budget required to bring the facilities up to a good standard. This list has been prepared in the absence of detailed condition surveys and gives the Councils a three year programme of works for refurbishing our public toilets matched to the proposed capital improvement budgets.

Adur Toilets	Year	Proposed Budget
		£'000
Fort Haven, Shoreham by Sea	2018/19	30
Widewater, West Beach Road, Lancing	2018/19	25
Southwick Square, Southwick Street, Southwick	2019/20	50
Beach Green Shoreham, Shoreham by Sea	2020/21	80

4.0 STRATEGIC ISSUES AFFECTING THE DEVELOPMENT OF THE PROGRAMME:

(e) **Public conveniences**

Worthing Toilets	Year	Proposed Budget
		£'000
High Street MSCP, High Street, Worthing	2018/19	100
Pier (Parade Access), Worthing	2019/20	50
Lido, Marine Parade, Worthing	2019/20	30
Brooklands, Western Road, Worthing	2020/21	40
Sea Lane Cafe Car Park, Goring, Worthing	2020/21	25
Marine Gardens, Worthing	2020/21	30

(f) **Playgrounds**

For both Councils, there is a play area prioritisation list in place which details the order in which each Council's play areas are selected to be put forward for refurbishment. The criteria used to determine the order in which the play areas are refurbished was scrutinised at the Joint Overview and Scrutiny Committee (JOSC) in July 2017, with no recommendations or alterations to the process suggested.

Due to the impact of the Adur Tidal Walls scheme work on Adur Recreation Ground, the proposed playground refurbishment for 2018/19 may need to be delayed to 2019/20. If that is the case then the planned refurbishment for 2019/20 at Middle Road will be brought forward to 2018/19.

Due to the proposed works on Palatine Park and an anticipated planning application to be submitted by Worthing Town FC, the proposed playground refurbishment for Palatine Park in 2018/19 may need to be delayed until 2019/20. If that is the case then the planned refurbishment for Pennycress/Northbrook Recreation ground will be brought forward to 2018/19.

The recommended programme for playground improvements for the next 3 financial years is as follows:

2018/19

Adur: Adur Recreation Ground Play Area (£90k)

Worthing: Palatine Park Play Area (£90k)

2019/20

Adur: Middle Road Recreation Ground Play Area (£90k)

Worthing: Pennycress Avenue/Northbrook Recreation Ground Play Areas (£90k)

2020/21

Adur: Sompting Recreation Ground Play Area (TBC)

Worthing: Brooklands Pleasure Park Play Area (TBC)

5.0 RESOURCES

5.1 There are two influences on the overall size of the capital programmes, namely:

- (i) the level of available capital resources to fund the programmes;
- (ii) the extent to which the revenue consequences of the programmes in terms of the cost of borrowing, lost investment income and any associated running costs can be accommodated within the revenue budget.

5.2 The financial position for both Councils is very challenging over the next five years. The need to invest in existing assets, as well as provide for partnership working and new initiatives, means that both Councils will need to sustain relatively modest programmes as outlined in paragraph 3.2 for the foreseeable future. However, the Worthing programme in particular, is under pressure. The need to increase the level of investment has to be balanced against the difficult financial position of the Councils.

5.3 There is little change in the method of financing the programmes planned over the next 3 years. In addition, both Councils have approved a 'Strategic Property Investment Fund' which is an invest-to-save provision and specific investments which meet the criteria will be funded through prudential borrowing.

5.4 Both proposed programmes assume a phased use of the available prudential borrowing, capital receipts, reserves and the Major Repairs Reserve for Adur Homes which is generated from the depreciation set aside on an annual basis. These are discussed in more detail below:

5.4.1 Usable Capital Receipts derived from the sale of assets

Usable capital receipts are generated through the sale of Council owned assets. Both Councils are actively looking for opportunities to increase the available receipts as follows:

i) Adur District Council

In the past, the main source of capital receipts for Adur District Council has come from council housing sales which are used to support the HRA Investment Programmes. However the potential sale of Adur Civic Centre will lead to a substantial capital receipt, the use of which will be determined by Members.

Adur has signed up to the DCLG agreement allowing 100% of Right to Buy (RTB) receipts to be retained to finance new affordable homes within the Adur area. However, the receipt can only provide 30% of the cost of any new build which means that the remaining 70% has to be financed from other sources including borrowing. A condition of being able to retain capital receipts arising from RTB sales was that they must be spent within a 3 year time limit. Receipts have to be returned after 3 years if we cannot allocate the receipts to any new homes. Properties may be built by Adur Homes or another Registered Provider.

5.0 RESOURCES

5.4.1 Usable Capital Receipts derived from the sale of assets

i) Adur District Council

Other Housing Revenue Account property or land sales fall outside the requirements of RTB receipts and may be retained by Adur provided it is spent on affordable housing, regeneration or the paying off of Housing Revenue Account debt.

ii) Worthing Borough Council

Worthing Borough Council has used receipts generated from the sale of specific sites (Aquarena and Eirene Road) to pay down debt following the £9.6m borrowing undertaken to finance the 'Splashpoint' swimming pool including the receipt recently received from the sale of the Aquarena site. Other general receipts are used to fund the capital investment programme.

Worthing Borough Council also has the right to a proportion of the receipts generated from the sales of homes by Worthing Homes. These receipts have been set aside to fund the delivery of affordable housing

Whilst, the revenue implication of using any capital receipts is by no means as much as those incurred by borrowing, this is by no means a 'free' source of funding. The annual revenue costs of using £1m of capital receipts are as follows:-

	Year 1 £	Year 2 £
Interest at say 0.5%	2,500	5,000

In the past capital receipts have been a major source of funding for both Councils' capital programmes. Members will be aware that the Councils now have only limited access to capital receipts as:

- Neither Council owns large tracts of land that can be easily disposed of when capital receipts are needed. There are some disposals which are currently taking place and which could be made available in time, but these are unlikely to meet all the investment needs of either Council in the immediate future;
- There are very few other options for future disposals of operational assets, owned by either council, without service provision implications;
- Any benefits that might accrue from the sale of non-operational assets, such as the commercial properties, will be largely negated by the loss of significant rental and lease income. Consequently, the disposal of such assets can only be undertaken when there is a clear business case to justify such an action;

5.0 RESOURCES

5.4.1 Usable Capital Receipts derived from the sale of assets

In addition, due to the pressure on the reserves, the report on the revenue budget elsewhere on the agenda recommends using some of the receipts generated in the period 2016 - 2019 to fund the costs associated with delivering the savings necessary to balance the 2018/19 budget. The amount to be release is £14,000 for Adur District Council and £300,000 for Worthing Borough Council.

In light of the budget strategy and the limitations on generating additional capital receipts, the estimated balance of capital receipts to fund the draft Capital Investment Programme will be:

Adur District Council

Adur District Council		Balance at 1 st April £'000	* Receipts Generated £'000	Planned Use £'000	Balance at 31 st March £'000
2018/19	General	-	-	-	
	Ring-fenced				
	- HRA	2,290	800	-1047	2,043
	- General Fund	413	16	-246	183
	Total	2,703	816	-1,293	2,226
2019/20	General	-	-	-	-
	Ring-fenced				
	- HRA	2,043	800	-1,863	980
	- General Fund	183	16	-6	193
	Total	2,226	816	-1,869	1,173
2020/21	General	-	-	-	
	Ring-fenced				
	- HRA	980	800	-1,600	180
	- General Fund	193	16	-6	203
	Total	1,173	816	-1,606	383

5.0 RESOURCES

5.4.1 Usable Capital Receipts derived from the sale of assets

Worthing Borough Council

Worthing Borough Council		Balance at 1 st April £'000	Receipts Generated £'000	Planned Use £'000	Balance at 31 st March £'000
2018/19	General	-	-	-	-
	Ring-fenced	4,715	212	-1,444	3,483
	Total	4,715	212	-1,444	3,483
2019/20	General	-	-	-	-
	Ring-fenced	3,483	212	-1,002	2,693
	Total	3,483	212	-1,002	2,693
2020/21	General	-	-	-	-
	Ring-fenced	2,693	212	-1,000	1,903
	Total	2,693	212	-1,000	1,903

The lack of capital receipts as a source of funding is a problem for both Councils. It is inevitable that both Councils will need to borrow to sustain their respective capital programmes.

5.4.2 Prudential Borrowing

For the General Fund, the Prudential Code generally gives an unlimited ability to borrow, provided it is 'affordable, sustainable and prudent'. In practical terms the amount of the borrowing is inhibited by the impact of the associated revenue consequences on the revenue budget and on council tax.

The position for Adur's Housing Revenue Account is different. Since April 2012, any future borrowing for capital investment in the housing stock, will only be allowable subject to repaying existing debt and creating headroom between actual debt and the borrowing limit of £68.9 million. Headroom to borrow is currently at £9.3m.

Whilst, the HRA has the option to make a voluntary revenue provision (VRP) for the repayment of debt, at the moment this option is not being exercised due to the financial position of the HRA. This will be reassessed once the current government policy on rent levels of a 1% annual reduction comes to an end. This can be funded from the depreciation which is set aside into the Major Repairs Reserve (see 5.4.3 below).

The annual revenue costs of each additional £1m of Prudential Code borrowing are estimated to be as follows:-

5.0 RESOURCES

5.4.2 Prudential Borrowing

	Year 1 £	Year 2 £
Principal repayment based on the annuity method *	0	53,770
Interest at say 3%	15,000	30,000
Total costs	15,000	83,770

* Both Councils have a policy of repaying any debt over the life of the asset acquired. On average the assets funded will have a life of 15 years which is equivalent to a 7% revenue provision each year.

MRP= Minimum Revenue Provision – the amount of ‘capital’ that has to be repaid each year, notionally this is the amount set aside to repay debts which have accumulated to finance schemes.

5.4.3 Adur Housing Revenue Account Major Repairs Reserve contribution

The Council is allowed to set-aside amounts into a Major Repairs Reserve, equivalent to at least the annual depreciation charge for the housing stock made to the Housing Revenue Account. This can be used to fund the repayment of debt or to finance capital expenditure. The major repairs allowance calculation for 2018/19 is estimated at £4.4m which will be used to finance the capital programme.

New capital expenditure on housing will be financed from direct revenue contributions, capital receipts, the Major Repairs Reserve or from Prudential Borrowing (if overall borrowing is less than the ‘borrowing limit’ of £68.9 million). Any new borrowing will require amounts to be set aside from the Major Repairs Reserve for repayment of debt.

5.4.4 Revenue Contributions and Reserves

Worthing Borough Council has a specific capital reserve set aside to fund the capital improvements at the Crematorium. The Crematorium makes an annual contribution to the reserve from the additional income generated by the agreed improvements.

The HRA has set up a ‘New Acquisition and Development’ reserve specifically to fund initiatives to increase the supply of affordable housing. This will be used to fund the preliminary works on Cecil Norris House and the costs associated with Albion Street.

5.0 RESOURCES

5.4.5 Capital Grants and other external funding

The following capital grants and other contributions are expected and have been taken into account within the overall resources for the 2018/19 capital programme:

Adur District Council External Funding

	£
Disabled Facilities Grant (Better Care Fund)	350,000

Worthing Borough Council External Funding

	£
Disabled Facilities Grant (Better Care Fund)	750,000
Lawn Tennis Association External Funding	200,000
S106 Receipts	225,200
Theatres Restoration Levy	50,000

Disabled Facilities grants are mandatory and each Council has to approve all eligible grants. All approvals are for 12 months and works can be undertaken at any time in this period. Both Councils have received increased Better Care Fund Grant Allocations in 2018/19 which are forecast to be sufficient to fund all grant allocations. Any unspent grant can be carried forward to 2019/20 to fund outstanding grant commitments at 31st March 2018.

6.0 DRAFT PROGRAMMES

General Fund Programme

- 6.1 The three-year draft General Fund programmes are attached at Appendices 2 and 3. The indicative programmes have been prepared on the basis of the agreed guidelines and the estimated resources. Each scheme has been scored using the priority scoring system devised under the Capital Strategy, producing a balanced programme in accordance with the overall available funding. The resulting draft Capital Investment Programmes for 2017/18 – 2020/21 (including all schemes approved for 2017/18) are attached at Appendices 8 and 9 for information. At this stage, the schemes recommended for inclusion 2020/21 are indicative only and will be reassessed next year.
- 6.2 Members are asked to consider the proposed programmes. Members can remove schemes if they consider that they should not be supported at this time or add schemes which merit support provided that the overall programme remains affordable. Additional information is provided below on the proposed invest to save schemes and other issues which members should be aware of when considering the overall programme.

6.0 DRAFT PROGRAMMES

6.3 Invest to save schemes

The Councils will consider 'invest to save' capital proposals which produce revenue savings that exceed the cost of borrowing by at least 10% over the life of the investment.

(i) Empty Properties

The tables below show the potential additional income from empty properties via New Homes Bonus, if brought back into use, over the next 5 years for both Adur and Worthing. It is recommended that a proportion of the income generated is ring-fenced for empty properties work to bring more empty properties back into use over the 5 years.

The future of the New Homes Bonus (NHB) scheme is still unknown. If the New Homes Bonus ceases then this scheme will be funded in future from the repayment of empty property grants and loans. The effectiveness of the scheme is reviewed annually.

Adur District Council Additional New Homes Bonus Anticipated as a result of bringing an estimated 8 properties back into use each year

Year	Estimated Bonus Year 1 £	Estimated Bonus Year 2 £	Estimated Bonus Year 3 £	Estimated Bonus Year 4 £	Estimated Bonus Year 5 £	Total Estimated Bonus £
1	10,195	10,195	10,195	10,195	10,195	50,975
2		10,195	10,195	10,195	10,195	40,780
3			10,195	10,195	10,195	30,585
4				10,195	10,195	20,390
5					10,195	10,195
	10,195	20,390	30,585	40,780	50,975	152,925

Worthing Borough Council Additional New Homes Bonus Anticipated as a result of bringing an estimated 20 properties back into use each year

Year	Estimated Bonus Year 1 £	Estimated Bonus Year 2 £	Estimated Bonus Year 3 £	Estimated Bonus Year 4 £	Estimated Bonus Year 5 £	Total Estimated Bonus £
1	24,258	24,258	24,258	24,258	24,258	121,290
2		24,258	24,258	24,258	24,258	97,032
3			24,258	24,258	24,258	72,774
4				24,258	24,258	48,516
5					24,258	24,258
	24,258	48,516	72,774	97,032	121,290	363,870

6.0 DRAFT PROGRAMMES

6.3 Invest to save schemes

(i) Empty Properties

The Councils continue to build on the working relationship with the nominated private sector letting agent that we are currently in partnership with to manage our guaranteed rent scheme. We have already achieved one of our objectives by developing a Guaranteed Rent Scheme with Northwood's letting agent. This is proving successful with 23 properties to date being referred to them and the housing options team receiving the nomination rights. There has been a growing number of empty home owners interested in the schemes and new approaches continue to be sought to promote the funding to Empty Property owners. Increasing the supply of private sector rental properties available at Local Housing Allowance levels remains a key objective.

Close working with our Legal Team to develop and finalise the Enforced Sales Procedure is nearing fruition which will allow us to proceed with the sale of three long term empty properties, we anticipate using this procedure on further properties in the future.

A number of projects are currently underway with the YMCA, who still have HCA grant funding. The councils funding from the Empty Property Assistance Programme will see an empty run down property of over three years being renovated and brought back into occupancy as a four bed HMO nomination rights to this property will be awarded to the council for the next five years.

The Councils will continue to focus on achieving the objectives set out in the Empty Property Strategy and working with partners in the charitable sector as well as individual empty property owners to increase the supply of affordable housing as these properties are let at social rents.

The success of this initiative will be monitored to ensure that the bonus is generated as expected.

(ii) Strategic Property Investment Fund

As part of the Capital Strategy, it was proposed that each Council would set aside funding for a Strategic Property Investment Fund. This fund would be used to invest in commercial property; each investment should generate income which exceeds the potential borrowing costs associated with the purchase or development of the new property.

Whilst under the constitution the Head of Growth has the delegated authority to purchase property provided that a budget exists; given the nature of these investments, each individual purchase or development is the subject of a business case which is approved by the relevant Leader and Executive Member of Resources.

6.0 DRAFT PROGRAMMES

6.3 Invest to save schemes

(iii) Temporary accommodation

The cost of temporary and emergency accommodation has been escalating. In response to this, the Councils have each created a budget to purchase temporary accommodation for residents who the Council has a duty to house temporarily. Each proposal is assessed for financial and operational viability before a business case is approved by the Joint Strategic Committee.

6.4 Schemes currently below programme financial cut-off

6.4.1 This year there are a few schemes which fall below the proposed cut-off for each of the programmes. These are detailed in appendices 2 and 3.

6.5 Adur Housing Investment Programme

6.5.1 The estimated resources available to fund the 2018/19 HRA Investment Programme of £5,200,000 are sufficient to fund all the proposed schemes (Appendix 5).

6.5.2 The first priority for the programme is the continued maintenance of Council homes to address issues arising from the condition survey. Members have recently approved the draft programmes for 2017/18 and 2018/19. Work is currently being undertaken to establish the programme for 2019/20 and 2020/21 and will be presented to members next year.

6.6 Overall

The following assumptions have been used in preparing the draft programmes:

- (a) Maximise use of external funding where possible.
- (b) Continuation of Specific Grant Aided Funding for Mandatory Disabled Facilities Grants.
- (c) The proposed Capital Programme and Reserve Lists include a number of the larger planned maintenance schemes. Only schemes which meet the criteria for capital funding are included.

6.7 The following tables are a summary of total resources used to fund the new schemes included in the draft programme.

6.0 DRAFT PROGRAMMES

Adur District Council

Programme Year	Revenue Contributions and Reserves £	Major Repairs Reserve £	Capital Grants and Contributions £	Usable Capital Receipts £	Borrowing £	TOTAL £
2018/2019						
General Fund	81,920	-	350,000	6,000	2,177,160	2,615,080
HRA	-	4,400,000	-	663,800	136,200	5,200,000
Total	81,920	4,400,000	350,000	669,800	2,313,360	7,815,080
2019/2020						
General Fund	81,920	-	350,000	1,006,000	2,144,000	3,581,920
HRA	-	4,400,000	-	863,800	536,200	5,800,000
Total	81,920	4,400,000	350,000	1,869,800	2,680,200	9,381,920
2020/2021						
General Fund	81,920	-	350,000	1,006,000	1,822,190	3,260,110
HRA	-	4,400,000	-	1,000,000	1,000,000	6,400,000
Total	81,920	4,400,000	350,000	2,006,000	2,822,190	9,660,110
TOTAL						
General Fund	245,760	-	1,050,000	2,018,000	6,143,350	9,457,110
HRA	-	13,300,000	-	2,527,600	1,672,400	17,400,000
GRAND TOTAL	245,760	13,300,000	1,050,000	4,545,600	7,815,750	26,857,110

6.8 Members will note that the total planned new spending over the next three years, is £26,857,110. The table above indicates how this proposed programme will be financed.

6.0 DRAFT PROGRAMMES

6.9 Worthing Borough Council

Programme Year	Revenue Contributions and Reserves £	Capital Grants and Contributions £	Theatres Levy/ Corporate Sponsorship £	Usable Capital Receipts £	Borrowing £	TOTAL £
2018/2019						
General Fund	69,080	1,175,200	50,000	-	4,484,780	5,779,060
2019/2020						
General Fund	69,080	1,670,000	61,200	1,000,000	4,272,950	7,073,230
2020/2021						
General Fund	69,080	750,000	-	1,000,000	3,026,910	4,845,990
GRAND TOTAL	207,240	3,595,200	111,200	2,000,000	11,784,640	17,698,280

6.10 Members will note that the total planned new spending over the next three years, is £17,698,280. The table above indicates how this proposed programme will be financed.

7.0 REVENUE IMPLICATIONS

7.1 The revenue implications (excluding the revenue impact of financing the Capital Investment Programme) of all the capital projects in the draft programmes are shown in last column of appendices 2 and 3. An assessment of the revenue implications of the planned programme has already been built into the Medium Term Financial Plan. This has already been recognised as a genuine expenditure within the overall revenue budget. There is, of course, no obligation to spend merely because resources are available. In considering the merits of any capital investment proposal, the opportunity cost of using the resources, the revenue cost associated with any borrowing and the interest earnings foregone by utilising capital receipts and reserves, require full consideration.

7.0 REVENUE IMPLICATIONS

7.2 The full year revenue impact of financing the capital programme is shown below:-

Adur District Council

Programme Year	Revenue Impact		Cumulative		Full-Year Impact in
	General Fund £	HRA £	General Fund £	HRA £	
2018/2019	217,746	16,939	217,746	16,939	2019/2020
2019/2020	219,430	57,939	437,176	74,878	2020/2021
2020/2021	187,249	105,000	624,425	179,878	2021/2022

Worthing Borough Council

Programme Year	Revenue Impact		Cumulative		Full-Year Impact in
	Borrowing £	Capital Receipts £	Borrowing £	Capital Receipts £	
2018/2019	448,478	-	448,478	-	2019/2020
2019/2020	427,295	5,000	875,773	5,000	2020/2021
2020/2021	302,691	5,000	1,178,464	10,000	2021/2022

The above figures, for both councils, do not include any other direct revenue implications, which could be either positive or negative, depending on the particular schemes. The draft programmes show the other on-going annual running costs of servicing and maintaining the proposed schemes and savings generated from the capital investment.

8.0 PRUDENTIAL INDICATORS

8.1 The statutory framework for the Prudential System is set out in Chapter I of the Local Government Act 2003 and in the Local Authorities (Capital Finance and Accounting) (England) Regulations 2003 as amended. The framework incorporates four statutory codes. These are:

- The Prudential Code prepared by CIPFA
- The Treasury Management Code prepared by CIPFA
- The Statutory Guidance on Local Authority Investments prepared by DCLG
- The Statutory Guidance on Minimum Revenue Provision prepared by DCLG

8.0 PRUDENTIAL INDICATORS

- 8.2 Part of the core process for the Prudential Code is for Members to set Prudential Indicators as detailed in the Prudential Code against which the performance of the Capital Investment Programme and Treasury Management can be measured and monitored throughout the year. These indicators will be calculated once the programme has been fixed and reported to the Executive and Council as part of the Revenue Budget report.
- 8.3 Members should be aware that the Prudential Code is being revised with the aim of creating more openness and transparency around investment in non-financial instruments. New requirements for reporting include:
- i) Local authorities should formally approve the capital strategy
 - ii) The Chief Financial Officer must now formally report on the risks associated with the capital strategy.
 - iii) Local authorities will need to disclose the contribution that investments make to the delivery of core activities.
 - iv) The key principles of security, liquidity and yield will be extended to all investment activity, including commercial and regeneration investments.
 - v) There will be an extended requirement for the local authority to comment on the skills and training of decision makers, be they senior officials, Members or Treasury Management staff.
- 8.4 In parallel to the changes in the Prudential Code, the Government is also consulting on changes to the Minimum Revenue Provision which may be introduced for the 2018/19 financial year. The main changes proposed are that:
- i) Local authorities can still overpay in any specific year, and offset that overpayment against charges in future years.
 - ii) Where local authorities use a methodology based on the Useful Economic Life of assets, the Government is proposing the following maximum lives:
 - Freehold land 50 years
 - Other assets 40 years
- The Council already complies with this requirement.

9.0 CONSULTATION

- 9.1 Members were consulted on the capital bids to be included in the draft programmes. Their comments are included in this report. The final recommendations for the capital programmes will be made to Adur District Council on the 14th December, 2017 and Worthing Borough Council on the 19th December, 2017.

10.0 CONCLUSION

- 10.1 Whilst both Councils have only limited resources with which to fund the capital programme, it has been possible to provide for a modest programme of £1.0m for Adur District Council, £2.0m for Worthing Borough Council each year and £5.2m for Adur Homes. Both Councils have insufficient capital resources available to meet all of the identified demands for capital investment over the next three years, and therefore some schemes must remain on the respective Reserve List.
- 10.2 The implication of this restriction in capital investment is that some maintenance needs are not currently being met. Both Councils will need to continue to critically review their asset base over the coming years with a view to retaining a sustainable level of assets to support service delivery.
- 10.3 The continuing constraints on the availability of capital resources in the medium to long term and the direct impact on the revenue budget leaves little room for manoeuvre. Work needs to commence now to ensure sufficient resources are available to both Councils to provide adequate funds for financing the respective Capital Investment Programmes from 2019/20 onwards. In any event, the revenue consequences of spending scarce resources must always be borne in mind in judging the merits of any capital investment proposal.

11.0 FINANCIAL IMPLICATIONS

- 11.1 The financial implications associated with the development of the budgets are detailed throughout the report.

Finance Officer: Sarah Gobey

Date: 20th November 2017

12.0 LEGAL IMPLICATIONS

- 12.1 Part 1 of the Local Government Act, 2003 sets out the framework for capital finance and expenditure.
- 12.2 The Local Government (Capital Finance and Accounting) (England) Regulations 2003 provide more detailed requirements.
- 12.3 Section 111 of the Local Government Act, 1972 allows the Council to do anything which is intended to facilitate or is conducive to or ancillary to any of its functions.
- 12.4 The Local Government Act 2003, Sections 16(2)(b) and 20: Treatment of costs as capital expenditure allows Councils to use any capital receipts generated in 2016/17 – 2018/19 to fund revenue expenditure which will generate an on-going saving via a direction from the Secretary of State which was issued on 17th December 2015.

Legal Officer: Susan Sale

Date: 22nd November 2017

Local Government Act 1972

Background Papers:

CIPFA Prudential Code for Capital Finance in Local Government 2003

Capital Estimates 2018/19 – Working papers

Investing in Service Delivery - Capital Strategy 2018/19 - 2020/21 – Report to Joint Strategic Committee on 11th July 2017

Towards a Sustainable Future - Budget Strategy for the 2018/19 Budget – Report to Joint Strategic Committee on 11th July 2017

2nd Capital Investment Programme and Projects Monitoring 2017/18 – Report to Joint Strategic Committee on 7th November 2017

HRA Capital Programme 2017-2019 – Report to Joint Strategic Committee on 12th September 2017

Worthing multi-storey car park improvement programme: approval to commence capital works – Report to Joint Strategic Committee on 4th April 2017

Improving supply of temporary accommodation - Report to Joint Strategic Committee on 13th September 2016

Contact Officer:

Sarah Gobey

Chief Financial Officer

Telephone 01903 221221

e-mail: sarah.gobey@adur-worthing.gov.uk

SUSTAINABILITY AND RISK ASSESSMENT

1. ECONOMIC

Matter considered and no issues identified

2. SOCIAL

2.1 Social Value

Matter considered and no issues identified

2.2 Equality Issues

Individual schemes within the three proposed capital programmes have been subjected to equalities impact assessment. Schemes which have a positive impact on equalities include:

- Affordable housing schemes – Schemes are targeted at the most vulnerable;
- Disability Discrimination Act - Works to improve accessibility of Council buildings;
- Disabled Facilities Grants – Improvements and adaptations to private housing to meet specific needs;
- Home Repair Assistance Grants – Grants to enable those in need to stay in their homes;
- Resurfacing of hard surfaces – Provides an improved surface for wheelchair users and other people with reduced mobility;
- Parks – Replacement of play area and outdoor fitness equipment which is designed to be more accessible and inclusive;
- ICT Hardware Replacement Programme – Provision of special keyboards and screens where required;
- Empty Property Grants – Increase the supply of affordable housing in the locality.
- Public Conveniences – Upgraded and new facilities include DDA improvements and facilities.

There will be no negative equalities and diversity outcomes arising from the proposed programmes.

SUSTAINABILITY AND RISK ASSESSMENT

2. SOCIAL

2.3 **Community Safety Issues (Section 17)**
Matter considered and no issues identified

2.4 **Human Rights Issues**
Matter considered and no issues identified

3. ENVIRONMENTAL

Matter considered and no issues identified

4. GOVERNANCE

Matter considered and no issues identified



ADUR & WORTHING COUNCILS

CAPITAL PRIORITISATION MODEL

Criteria for scoring points

Category	Criteria
A	<p>Revenue Implications</p> <p>Add Points – 1 point per £2,000</p> <ul style="list-style-type: none"> • Additional revenue income as measured over asset life, after payment of running costs OR • Projects result in a reduction in the revenue budget from date of completion. • Any project whose annual saving exceeds the costs of borrowing over the life of the acquisition by 10% or more will gain automatic approval under invest to save principles, subject to approval by the Chief Financial Officer and ratification by JSC.
B	<p>Deduct Points – 1 point per £2,000</p> <ul style="list-style-type: none"> • Additional annual operation costs OR • The project results in increased net revenue costs.
C	<p>Building Condition Survey</p> <ol style="list-style-type: none"> 1) Good – Performing as intended and operating effectively (0 points). 2) Satisfactory – Performing as intended, but exhibiting minor deterioration (0 points). 3) Poor – Exhibiting major defects and/or not operating as intended (1 point). 4) Bad – Life expired and/or serious risk of imminent failure (5 points) <p>(The Condition must be agreed with Derek Magee, Technical Services, before adding points). Finance will seek validation of any points awarded here.</p>

Category	Criteria
D	<p>Equipment/Vehicle Condition Survey</p> <ol style="list-style-type: none"> 1) Good – Performing as intended and operating effectively (0 points). 2) Satisfactory – Performing as intended, but exhibiting minor deterioration (0 points). 3) Poor – Exhibiting major defects and/or not operating as intended (1 point). 4) Bad – Life expired and/or serious risk of imminent failure and non-replacement will have serious operational consequences (5 points).
E	<p>Equalities Impact Assessment - Add 5 points or 1 point</p> <p>Score 5 points where the objective of the scheme is to improve equalities e.g. DDA schemes, or score 1 point for schemes which contribute to equalities, e.g. access improvements.</p> <ol style="list-style-type: none"> 1) How will the proposed project improve Equality and Diversity in the area? 2) Who will benefit from this project? Is there likely to be a positive impact on specific equality groups (whether or not they are intended beneficiaries), and if so, how? Or is it clear at this stage that it will be equality “neutral”? i.e. will have no particular effect on any group. 3) Is there likely to be an adverse impact on one or more equality groups as a result of this scheme? If so, who may be affected and why? Or is it clear at this stage that it will be equality “neutral”? 4) Is the impact of the scheme – whether positive or negative – significant enough to warrant a more detailed assessment (Stage 2 – see guidance)? If not will there be monitoring and review to assess the impact over a period of time? Give reasons for your answer and any steps you are taking to address particular issues, including any consultation with staff or external groups/agencies.
F	<p>Improvement/Betterment - Add 1 point</p> <p>Improvement beyond essential requirement to existing services, work to improve the level of service where there is a proven need and demonstrable benefit. This includes results of Business Transformation or Service Reviews.</p>
G	<p>Health & Safety (non statutory) – Points 0 - 5</p> <p>The project is considered necessary for the health and safety of the Council’s employees or the general public and has been agreed with the Corporate Health & Safety Officer:</p> <ul style="list-style-type: none"> No Risk - 0 points Low Risk - 1 point Medium Risk - 3 points High Risk - 5 points


Category	Criteria																
H	<p>Risk Register If the scheme's risks are on the Corporate Risk Register the points to be awarded are High Risk 5 points, Medium Risk 3 points, and Low Risk 1 Point. Finance will seek validation of any points awarded here.</p>																
I	<p>Partnership working – Add 5 points Projects that involve partnership working where the partner contributes to the completion of the scheme, rather than just benefits from the outcome. This could be funding, in-kind work or involvement in the design process which has a direct affect on the final project.</p> <p>Examples would be community involvement, WSCC schemes, "Better Together" (Coastal West Sussex Partnership) and the police. Full details of all partners involved and their contribution to the scheme must be provided.</p>																
J	<p>Match Funding / External Funding Utilisation of Council resources. The higher the percentage of funding expected from the Local authority, the less points can be awarded: This has an individual ranking Matrix – please see below:</p>																
	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th data-bbox="145 1200 751 1263" style="text-align: center;">External Funding % received</th> <th data-bbox="751 1200 1449 1263" style="text-align: center;">Points to be added</th> </tr> </thead> <tbody> <tr> <td data-bbox="145 1263 751 1317" style="text-align: center;">0.1% - 24%</td> <td data-bbox="751 1263 1449 1317" style="text-align: center;">1</td> </tr> <tr> <td data-bbox="145 1317 751 1370" style="text-align: center;">25% - 49%</td> <td data-bbox="751 1317 1449 1370" style="text-align: center;">2</td> </tr> <tr> <td data-bbox="145 1370 751 1424" style="text-align: center;">50% - 65%</td> <td data-bbox="751 1370 1449 1424" style="text-align: center;">3</td> </tr> <tr> <td data-bbox="145 1424 751 1478" style="text-align: center;">66% - 75%</td> <td data-bbox="751 1424 1449 1478" style="text-align: center;">5</td> </tr> <tr> <td data-bbox="145 1478 751 1532" style="text-align: center;">76% - 89%</td> <td data-bbox="751 1478 1449 1532" style="text-align: center;">7</td> </tr> <tr> <td data-bbox="145 1532 751 1585" style="text-align: center;">90% - 99%</td> <td data-bbox="751 1532 1449 1585" style="text-align: center;">10</td> </tr> <tr> <td data-bbox="145 1585 751 1639" style="text-align: center;">100%</td> <td data-bbox="751 1585 1449 1639" style="text-align: center;">10 or Automatic Approval **</td> </tr> </tbody> </table>	External Funding % received	Points to be added	0.1% - 24%	1	25% - 49%	2	50% - 65%	3	66% - 75%	5	76% - 89%	7	90% - 99%	10	100%	10 or Automatic Approval **
External Funding % received	Points to be added																
0.1% - 24%	1																
25% - 49%	2																
50% - 65%	3																
66% - 75%	5																
76% - 89%	7																
90% - 99%	10																
100%	10 or Automatic Approval **																
**	<p>Automatic approval is subject to the scheme contributing to the Council's aims, and future financial revenue implications being accommodated with the Council's overall revenue budget. All external funding must be confirmed by source before scheme is included in the Adur or Worthing Capital Investment Programme.</p>																
K	<p>Consultation – points to be determined by Members (up to 5 points in total) Projects that are important for community/political reasons following consultation.</p>																

COUNCIL PRIORITIES


Category	Criteria	Points
L	Minimum works required to prevent the Council failing in its statutory duty (e.g. DDA)	20
	Or There is a mandatory legal requirement to provide the service, the proposed scheme enables the service to be provided and that obligation cannot be met in any other way	20
M	Essential works are required to avoid serious long-term financial, operational or service consequences	15
	Or There is a demonstrable, priority need to replace the asset/ service on an essentially like for like basis (save for improvements in technology) as the existing asset is at the end of its useful life	15
N	Other schemes, which meet the Councils priorities as laid out in the Platforms for our Places, Service Plans, Local Area Agreements, Community Strategy Priority Action Plans or the Councils' plans	10
O	There is an expectation by the Government that the Council should undertake a particular course although it may not be currently statutory and there is a likelihood of some form of sanction being applied against the Council if that expectation is not met.	5
P	Council Priorities (Platforms): 1 point for each point achieved from each platform (max. 18)	
P1	Platform 1 - Our Financial Economies 1.1) Projects to regenerate and activate places. 1.2) Creating and leveraging opportunities for investment. 1.3) Developing partnership with business sector and identify supports. 1.4) Developing our learning and skills ecosystem.	

Category	Criteria
<p>P2</p>	<p>Platform 2 – Our Social Economies</p> <p>2.1) Responding to communities’ needs in particular housing.</p> <p>2.2) Encouraging social financing and social innovation.</p> <p>2.3) Promoting the health and safety of our places.</p> <p>2.4) Exploring place-based health solutions.</p>
<p>P3</p>	<p>Platform 3 – Stewarding our Natural Resources</p> <p>3.1) Developing the environmental resilience of communities, business and infrastructure.</p> <p>3.2) Engaging the community and business in stewarding our environment.</p> <p>3.3) Developing the environment’s role in health and wellbeing.</p>
<p>P4</p>	<p>Platform 4 – Services and Solutions for our Places</p> <p>4.1) Using customer insight to develop more customer-centred services.</p> <p>4.2) Utilising the expertise in our communities.</p> <p>4.3) Responding to regulatory change and competition.</p>
<p>P5</p>	<p>Platform 5 – Leadership of our Places</p> <p>5.1) Developing strong partnerships and the capacity of our place leaders.</p> <p>5.2) Working with partners to maintain and manage platforms.</p> <p>5.3) Utilising place data and intelligence.</p> <p>5.4) Promoting Adur and Worthing.</p>


ADUR DISTRICT COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 ADUR DISTRICT COUNCIL Bid No.	Description	Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
"INVEST TO SAVE" SCHEMES										
1	Empty Properties - Grants and loans towards works to bring empty properties back into use (Scheme funded from additional New Homes Bonus based on number of empty properties brought back into use, and repayments of grants and loans made. See report for details)		BR	EB/NB	-	21,000	21,000	21,000	63,000	See report for anticipated additional income
2	Acquisition of Emergency, Interim or Temporary Accommodation for the Homeless (To provide more appropriate, sustainable and efficient solutions for future emergency and temporary accommodation and to provide a better standard of accommodation for vulnerable families)		CA	NB	-	1,000,000	1,000,000	1,000,000	3,000,000	-
3	Corporate Buildings - Programme of installation of solar panels and other energy efficiency measures (Long term ongoing series of projects to investigate and install energy efficiency measures in corporate buildings where there is a business case for reducing energy costs and CO2, and increasing energy efficiency. The savings will be bespoke depending on each building. No provision required for 2018/19 as 2017/18 budget has been c/f)		JM	NB	-	150,000	150,000	150,000	450,000	-
Total Invest to Save Schemes:					-	1,171,000	1,171,000	1,171,000	3,513,000	-


ADUR DISTRICT COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 ADUR DISTRICT COUNCIL Bid No.	Description	Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
PARTNERSHIP SCHEMES FUNDED FROM RING FENCED FUNDING										
4P	Corporate ICT hardware and infrastructure replacement programme (Partnership scheme with Worthing Borough Council. Total cost £200,000 2018/19, £215,000 2019/20, £65,000 2020/21). Replacement PCs, laptops, servers and infrastructure)		JJ	EB/NB	94,000	94,000	101,050	30,550	225,600	-
5P	Digital Strategy General Provision (Partnership scheme with Worthing Borough Council. Total annual provision £225,000 to facilitate delivery of the digital strategy)		JJ	NB	105,750	105,750	105,750	105,750	317,250	-
6P	Digital Strategy Matsoft Licences (Partnership scheme with Worthing Borough Council. Total provision £75,000)		JJ	NB	35,250	35,250	-	-	35,250	-
7P	Payroll System - Replacement (Partnership scheme with Worthing Borough Council. Total provision £175,000. The contract for the current system comes to an end in March 2019 and the Council needs to procure a new system which will better integrate with the Councils' chosen platforms Tech One and Matsoft)		SG	NB	82,250	82,250	-	-	82,250	-


ADUR DISTRICT COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 ADUR DISTRICT COUNCIL Bid No.	Description	Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
PARTNERSHIP SCHEMES FUNDED FROM RING FENCED FUNDING										
8P	Environment Division - Vehicle replacements (Replacement of parks vehicles and one dog warden's van. Partnership scheme with Worthing Borough Council. Total Cost Year 1 £157,000, Year 2 £151,000 and Year 3 £28,000)		AN	EB/NB	65,300	65,300	60,400	11,200	136,900	-
9P	Grounds Maintenance Service - Rolling programme of equipment replacements (Partnership scheme with Worthing Borough Council. Total cost Year 1 £35,000 for the replacement of a tractor pulled roller mower)		WB	NB	14,000	14,000	14,000	14,000	42,000	-
10P	Refuse / Recycling / Street Cleansing - Replacement vehicles (Partnership scheme with Worthing Borough Council. Total cost Year 1 £449,500. Year 1 replacement of one refuse vehicle, 3 street cleansing vehicles and a graffiti removal van)		AN	EB/NB	172,000	172,000	131,950	181,010	484,960	-


ADUR DISTRICT COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 ADUR DISTRICT COUNCIL Bid No.	Description	Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
PARTNERSHIP SCHEMES FUNDED FROM RING FENCED FUNDING										
11P	Refuse / Recycling Vehicles - Additional vehicles for new collection round (Partnership scheme with Worthing Borough Council. Total cost £352,000. Two 26 tonne refuse / recycling vehicles required due to the increase in new build properties, which will require a new collection round to be established. Funded from additional prudential borrowing)		AN	NB	-	128,130	-	-	128,130	-
12P	Refuse and Recycling Service - Wheeled bin replacements (Partnership scheme with Worthing Borough Council. Total cost £50,000 p.a. £30,000 funded from green bin income)		TP	EB/NB	7,280	18,200	18,200	18,200	54,600	-
Total Partnership Schemes:					575,830	714,880	431,350	360,710	1,506,940	-
PLANNED MAINTENANCE SCHEMES FUNDED FROM RING FENCED FUNDING										
13	Commerce Way - Replacement of external CCTV (The current system is unreliable and does not provide the coverage required to protect the new fleet of refuse/recycling vehicles from potential attacks of vandalism and burglary)		DM	NB	28,000	28,000	-	-	28,000	-


ADUR DISTRICT COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 ADUR DISTRICT COUNCIL Bid No.	Description	Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
PLANNED MAINTENANCE SCHEMES FUNDED FROM RING FENCED FUNDING (Continued)										
14	Condition Surveys of Corporate Buildings (To provide an assessment of the current condition of the Council's corporate buildings to inform a programme of planned maintenance works and also to establish the energy efficiency of corporate Buildings)		DM	NB	16,800	16,800	-	-	16,800	-
15	Land Drainage Improvements - Realignment of ditch and stabilisation of banks in the vicinity of Larkfield playing field, Lancing (Works will improve access for better maintenance and prevent failure or slippage of banks that will cause blockage and potential flooding up stream)		DM	NB	-	-	22,400	-	22,400	-
16	Lancing Manor Leisure Centre - Electrical rewire (The existing wiring is based on the redundant wiring colour scheme and is between 20 and 45 years old. This exceeds the expected lifetime of the cabling in a facility of this type)		DM	NB	-	-	34,000	34,000	68,000	-


ADUR DISTRICT COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 ADUR DISTRICT COUNCIL Bid No.	Description	Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
PLANNED MAINTENANCE SCHEMES FUNDED FROM RING FENCED FUNDING (Continued)										
17	Lancing Manor Leisure Centre - External cladding replacement (The existing coating is peeling and exposing block / brickwork underneath. Patching work has been carried out but this is now not viable and the existing cladding requires removal and replacing)		DM	NB	-	-	13,500	-	13,500	-
Total Planned Maintenance Schemes:					44,800	44,800	69,900	34,000	148,700	-
SCHEMES FUNDED FROM GENERAL FUND										
18	Community Alarm Service - Procurement of community alarm equipment (Purchase of new alarm units for new customers and to replace units which have reached the end of their useful lives to attract new and retain existing customers. Funded from Community Alarm Trading Account)	47	BR	EB/NB	-	50,000	50,000	50,000	150,000	-
19	Housing Renewal Assistance - Mandatory Disabled Facilities Grants (Funded from the DCLG Better Care Fund)	46	BR	EB/NB	-	350,000	350,000	350,000	1,050,000	-


ADUR DISTRICT COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 ADUR DISTRICT COUNCIL Bid No.	Description	Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
SCHEMES FUNDED FROM GENERAL FUND (Continued)										
20	Affordable Housing - Grants to Registered Social Landlords to provide affordable housing (2017/18 budget provision has been increased to £1m funded from RTB receipts and S106 receipts. Approval will be requested to top up this budget provision to £1m as and when schemes are allocated funding. No budget provision has been allocated to 2018/19 as 2017/18 unspent budget will be carried forward)	37	CA	EB/NB	-	-	1,000,000	1,000,000	2,000,000	-
21	Play Areas Improvements - Rolling Programme of improvements to Play Areas (Year 1 refurbishment of the existing play area on Adur Memorial Recreation Ground. Year 2 is the refurbishment of the existing play area on Middle Road Recreation Ground)	35	WB	EB/NB	100,800	100,800	100,800	100,800	302,400	-
22	Public Conveniences - Rolling programme of refurbishments (Sites to be agreed with the Executive Member)	34	DM	NB	50,000	50,000	50,000	50,000	150,000	-


ADUR DISTRICT COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 ADUR DISTRICT COUNCIL Bid No.	Description	Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
SCHEMES FUNDED FROM GENERAL FUND (Continued)										
23	Disability Discrimination Act Improvements - Extension of the coastal footpath linking the existing access points along the Shoreham Beach frontage to enable disabled access on to the beach (Phase 4 2019/20 Ferry Road to the existing concrete path opposite 5 Beach Road)	33	DM	NB	-	-	220,000	-	220,000	-
24	Housing Renewal Assistance - Discretionary Home Repair Assistance Grants (Budget provision for 2018/19 based on previous years' spend. Future provisions to be assessed annually)	33	BR	EB/NB	55,000	55,000	65,000	65,000	185,000	-
25	Asbestos Management - Removal and management of asbestos from corporate buildings and sites	31	DM	EB/NB	16,800	16,800	16,800	16,800	50,400	-


ADUR DISTRICT COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 ADUR DISTRICT COUNCIL Bid No.	Description	Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
SCHEMES FUNDED FROM GENERAL FUND (Continued)										
26	Allotments - Rolling programme of improvements (Works to include replacements and improvements of pathways, old water pipes, fencing improvements. Year 1 Milton Drive Allotments surfacing improvements. Year 2 priorities to be agreed with the Executive Member)	27	WB	EB/NB	16,800	16,800	16,800	16,800	50,400	-
27	Parks and Open Spaces - Provision of outdoor fitness equipment (Year 1 Fishersgate Recreation Ground)	20	WB	NB	20,000	20,000	20,000	20,000	60,000	-
Total General Fund Schemes:					259,400	659,400	1,889,400	1,669,400	4,218,200	-
Contingency provision for inflation and minor unavoidable overspends					25,000	25,000	20,270	25,000	70,270	-
TOTAL COST OF PROPOSED CAPITAL INVESTMENT PROGRAMME:					905,030	2,615,080	3,581,920	3,260,110	9,457,110	-

ADUR DISTRICT COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 ADUR DISTRICT COUNCIL Bid No.	Description	Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
The following scheme fell below the cut off for inclusion in the Capital Programme and will be added to the Reserve List, but could be included in the Capital Programme if Councillors choose:										
28	Shoreham Centre - Replacement of roof (The replacement of the roof in advance of its replacement cycle would enable additional solar panels to be installed on the middle of the roof in addition to solar panels on the back of the roof; the existing roof is not strong enough to support solar panels on the middle of the roof)	19	DM	NB	168,000	168,000	-	-	168,000	Energy Savings To Be Advised

ADUR DISTRICT COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 ADUR DISTRICT COUNCIL Bid No.	Description	Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
FUNDING FOR PROPOSED CAPITAL INVESTMENT PROGRAMME										
	Capital Grants/Contributions				-	350,000	350,000	350,000	1,050,000	
	Revenue Contributions/Reserves									
	New Homes Bonus*				-	21,000	21,000	21,000	63,000	
	Community Alarm Service				-	50,000	50,000	50,000	150,000	
	AWCS Refuse/Recycling Service				-	10,920	10,920	10,920	32,760	
	Capital Receipts/Prudential Borrowing				905,030	905,030	1,000,000	678,190	2,583,220	
	Ring- Fenced RTB Receipts / Affordable Housing S106 Receipts				-	-	1,000,000	1,000,000	2,000,000	
	Additional Prudential Borrowing to fund Invest to Save Schemes				-	1,150,000	1,150,000	1,150,000	3,450,000	
	Additional Prudential Borrowing to fund 2 Refuse/Recycling Vehicles				-	128,130	-	-	128,130	
TOTAL FUNDING:					905,030	2,615,080	3,581,920	3,260,110	9,457,110	


P Partnership Schemes with Worthing Borough Council

*** Funding for Empty Property Grants and Loans either by New Homes Bonus or ring-fenced repayments of grants and loans**


Lead Officers:

AN	Andy Northeast	Recycling and Waste Management Transport Manager
BR	Bruce Reynolds	Team Leader, Environmental Health
CA	Cally Anthill	Head of Housing
DM	Derek Magee	Engineering/Surveying Manager
JJ	Jan Jonker	Head of Customer and Digital Services
JM	Joy Moir	Strategic Sustainability Consultant
SG	Sarah Gobey	Chief Financial Officer
TP	Tony Patching	Head of Waste and Cleansing
WB	William Boyd	Support Services Manager, Parks and Foreshore


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
Bid No.	Description									
"INVEST TO SAVE" SCHEMES										
1	Empty Properties - Grants and loans towards works to bring empty properties back into use (Scheme funded from additional New Homes Bonus based on number of empty properties brought back into use, and repayments of grants and loans made. See report for details)		BR	EB/NB	-	50,000	50,000	50,000	150,000	See report for anticipated additional income
2	Acquisition of Emergency, Interim or Temporary Accommodation for the Homeless (To provide more appropriate, sustainable and efficient solutions for future emergency and temporary accommodation and to provide a better standard of accommodation for vulnerable families)		CA	NB	-	2,000,000	2,000,000	2,000,000	6,000,000	-
3	Corporate Buildings - Programme of installation of solar panels and other energy efficiency measures (Long term ongoing series of projects to investigate and install energy efficiency measures in corporate buildings where there is a business case for reducing energy costs and CO2, and increasing energy efficiency. The savings will be bespoke depending on each building. No provision required for 2018/19 as 2017/18 budget has been c/f)		JM	NB	-	-	150,000	150,000	300,000	-
Total Invest to Save Schemes:					-	2,050,000	2,200,000	2,200,000	6,450,000	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
Bid No.	Description									
PARTNERSHIP SCHEMES FUNDED FROM RING FENCED FUNDING										
4P	Corporate ICT hardware and infrastructure replacement programme (Partnership scheme with Adur District Council. Total cost £200,000 2018/19, £215,000 2019/20, £65,000 2020/21). Replacement PCs, laptops, servers and infrastructure)		JJ	EB/NB	106,000	106,000	113,950	34,450	254,400	-
5P	Digital Strategy General Provision (Partnership scheme with Adur District Council. Total annual provision £225,000 to facilitate delivery of the digital strategy)		JJ	NB	119,250	119,250	119,250	119,250	357,750	-
6P	Digital Strategy Matsoft Licences (Partnership scheme with Adur District Council. Total provision £75,000)		JJ	NB	39,750	39,750	-	-	39,750	-
7P	Payroll System - Replacement (Partnership scheme with Adur District Council. Total provision £175,000. The contract for the current system comes to an end in March 2019 and the Council needs to procure a new system which will better integrate with the Councils' chosen platforms Tech One and Matsoft)		SG	NB	92,750	92,750	-	-	92,750	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL Bid No. Description		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
PARTNERSHIP SCHEMES FUNDED FROM RING FENCED FUNDING										
8P	Environment Division - Vehicle replacements (Replacement of parks vehicles and one dog warden's van. Partnership scheme with Adur District Council. Total Cost Year 1 £157,000, Year 2 £151,000 and Year 3 £28,000)		AN	EB/NB	91,700	91,700	90,600	16,800	199,100	-
9P	Grounds Maintenance Service - Rolling programme of equipment replacements (Partnership scheme with Adur District Council. Total cost Year 1 £35,000 for the replacement of a tractor pulled roller mower)		AE	NB	21,000	21,000	21,000	21,000	63,000	-
10P	Refuse / Recycling / Street Cleansing - Replacement vehicles (Partnership scheme with Adur District Council. Total cost Year 1 £449,500. Year 1 replacement of one refuse vehicle, 3 street cleansing vehicles and a graffiti removal van)		AN	EB/NB	277,500	277,500	204,050	291,490	773,040	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
Bid No.	Description									
PARTNERSHIP SCHEMES FUNDED FROM RING FENCED FUNDING										
11P	Refuse / Recycling Vehicles - Additional vehicles for new collection round (Partnership scheme with Adur District Council. Total cost £352,000. Two 26 tonne refuse / recycling vehicles required due to the increase in new build properties, which will require a new collection round to be established. Funded from additional prudential borrowing)		AN	NB	-	223,870	-	-	223,870	-
12P	Refuse and Recycling Service - Wheeled bin replacements (Partnership scheme with Adur District Council. Total cost £50,000 p.a. £30,000 funded from green bin income)		TP	EB/NB	12,720	31,800	31,800	31,800	95,400	-
Total Partnership Schemes:					760,670	1,003,620	580,650	514,790	2,099,060	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL Bid No. Description		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
PLANNED MAINTENANCE SCHEMES FUNDED FROM RING FENCED FUNDING										
13	Condition Surveys of Corporate Buildings (To provide an assessment of the current condition of the Council's corporate buildings to inform a programme of planned maintenance works and also to establish the energy efficiency of Corporate Buildings)		DM	NB	33,600	33,600	-	-	33,600	-
14	Palm Court Café (Beach House Park) - Replacement of doors and windows (The windows and doors on the first floor of the building are wooden and have significant rot. They leak, are difficult to open and close and are a security risk to the proprietor on the ground floor)		DM	NB	39,200	39,200	-	-	39,200	-
15	Richmond Room - Replacement of high level roof (Reactive repairs are becoming unsustainable due to the age and condition of the roof and there is an increasing risk of water ingress. Full renewal of the felted roof covering including insulation is now required)		DM	NB	28,000	28,000	-	-	28,000	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL Bid No. Description		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
PLANNED MAINTENANCE SCHEMES FUNDED FROM RING FENCED FUNDING										
16	Public Conveniences - Refurbishment Programme (Sites to be agreed with the Executive Member)		DM	NB	-	-	100,000	100,000	200,000	-
Total Planned Maintenance Schemes:					100,800	100,800	100,000	100,000	300,800	-
SCHEMES FUNDED FROM GENERAL FUND										
17	Housing Renewal Assistance - Mandatory Disabled Facilities Grants (Funded from the DCLG Better Care Fund)	46	BR	EB/NB	-	750,000	750,000	750,000	2,250,000	-
18	Play Areas Improvements - Rolling Programme of improvements to Play Areas (Year 1 refurbishment of the existing play area at Palatine Park funded from S106 receipts)	45	WB	EB/NB	-	100,800	-	-	100,800	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL Bid No. Description		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
SCHEMES FUNDED FROM GENERAL FUND (Continued)										
19	Pavilion Theatre - Replacement seating. (Replacement of out-dated, sub-standard auditorium seating. The existing seating needs ongoing repairs creating a sub-standard experience due to lack of comfort and sight lines. Fire inspections have raised the condition of the seating in regard to exposed foam and increased fire risk. £25,000 to be funded from the Theatres Restoration Levy and £8,000 from Corporate Sponsorship)	40	AO	NB	-	-	52,350	-	52,350	It is estimated that this project could increase income by £12,000 p.a.
20	Worthing Crematorium - Improvements 2018/19 i) Walkway above cremators to enable access to maintain the cremator equipment. Cost £22,400 ii) New consistent, accurate signage with the new logo. Cost £16,600 iii) Muntham Chapel and Music Room air conditioning. Cost £21,000 2019/20 i) Provision of effective ventilation to the building. Cost £112,000.	38	SGR	NB	60,000	60,000	112,000	-	172,000	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
Bid No.	Description									
SCHEMES FUNDED FROM GENERAL FUND (Continued)										
21	Field Place - Replace the surface of the existing tennis courts and correct the drainage problems (External funding bid submitted to the Lawn Tennis Association for the funding of these works.)	38	AE	NB	-	200,000	-	-	200,000	-
22	Affordable Housing - Grants to Registered Social Landlords to provide affordable housing (2017/18 budget provision has been increased to £1m funded from RTB receipts and S106 receipts. Approval will be requested to top up this budget provision to £1m as and when schemes are allocated funding. No budget provision has been allocated to 2018/19 as 2017/18 unspent budget will be carried forward)	37	CA	EB/NB	-	-	1,000,000	1,000,000	2,000,000	-
23	Connaught Theatre - Refurbishment of public toilets (£50,000 funded from Theatres Restoration Levy. Complaints have been received about the condition of the toilets for a number of years and maintenance repairs are no longer viable)	36	AO	NB	42,000	92,000	-	-	92,000	It is estimated that this project could increase income by £12,000 p.a.


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL Bid No. Description		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
SCHEMES FUNDED FROM GENERAL FUND (Continued)										
24	Disability Discrimination Act Improvements - Rolling programme of improvements to Council buildings (No provision required for 2018/19 as funding anticipated to be carried forward from 2017/18)	36	DM	EB/NB	-	-	39,200	16,800	56,000	-
25	Highdown Gardens - Infrastructure improvements (A Heritage Lottery Bid for £900,000 was submitted October 2017 for improvements to the garden infrastructure including refurbishment of the bungalow and conversion to a visitors centre, improved staff facilities, provision of project staff to improve visitor experience and to reduce the risk to the national plant collection. S106 funding of £100,000 will be used as match funding for the HLF bid)	35	AE	NB	-	100,000	900,000	-	1,000,000	-
26	Play Areas Improvements - Rolling Programme of improvements to Play Areas (Year 2 refurbishment of Pennycross and Northbrook Recreation Ground Play Area)	35	WB	EB/NB	-	-	118,130	100,800	218,930	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL Bid No. Description		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
SCHEMES FUNDED FROM GENERAL FUND (Continued)										
27	Public Conveniences - Refurbishment Programme (Sites to be agreed with the Executive Member)	34	DM	NB	100,000	100,000	-	-	100,000	-
28	Connaught Theatre - Installation of a ventilation system in the main auditorium (The venue becomes extremely hot during productions and films in the summer months. Lack of ventilation causes potential for reputational damage as well as decreased income as both touring productions and customers may refuse to return to a venue owing to the heat. £25,000 funded from Theatres Restoration Levy)	33	AO	NB	-	-	66,080	-	66,080	It is estimated that this project could increase income by £15,000 p.a.
29	Housing Renovation Assistance - Discretionary Home Repair Assistance Grants (Budget level based on previous years' spend)	33	BR	EB/NB	70,000	70,000	70,000	70,000	210,000	-
30	Provision for the removal and management of asbestos found in Council properties	31	DM	EB/NB	30,000	30,000	16,800	16,800	63,600	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL Bid No. Description		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
SCHEMES FUNDED FROM GENERAL FUND (Continued)										
31	Connaught Studio (Ritz Cinema) - Installation of air conditioning (The venue becomes extremely hot during productions and films in the summer months. Lack of ventilation causes potential for reputational damage as well as decreased income as both touring productions and customers may refuse to return to a venue owing to the heat)	31	AO	NB	-	-	33,000	-	33,000	It is estimated that this project could increase income by £5,000 p.a.
32	Broadwater Green Pavilion - Refurbishment of public conveniences (The Council is being asked to contribute the cost of refurbishing the toilets as match funding for the Community Centre's external funding bid to refurbish the pavilion)	30	AE	NB	-	-	89,600	-	89,600	
33	Church House Grounds Pavilion - Replacement of public conveniences (The Tarring Priory Bowls Club would like to expand the pavilion and are being encouraged to apply for external funding. The extent of the Council's contribution would be for the relocation and refurbishment of the existing public convenience to include a DDA facility)	30	AE	NB	-	-	150,000	-	150,000	


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
Bid No.	Description									
SCHEMES FUNDED FROM GENERAL FUND (Continued)										
34	Parks - Rolling programme to provide new outdoor fitness equipment (Year 1 Tarring Recreation Ground. Year 2 West Park. Funded from S106 receipts)	30	WB	EB/NB	-	20,000	20,000	20,000	60,000	-
35	MSCPs - Planned structural repairs and improvement programme									
	Buckingham Road MSCP:	30	DM	EB/NB	140,000	140,000	5,600	-	145,600	-
	Grafton Road MSCP:	30	DM	EB/NB	601,440	601,440	120,960	-	722,400	-
	High Street MSCP: (Major repairs to the fabric of the MSCPs including concrete repairs lift replacements and steel corrosion issues)	30	DM	EB/NB	55,090	55,090	134,400	-	189,490	-
36	Worthing Pier, Southern Pavilion and Seafront Amusements - Fire compliance works (Continuation of fire safety compliance works commenced in 2016/17 to meet the requirements of the WSCC Fire and Rescue Service. Current 2017/18 budget of £314,400 has been profiled over 2017/18 and 2018/19 and a further provision is required for 2019/20)	30	DM	EB	-	-	319,110	-	319,110	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
Bid No.	Description									
SCHEMES FUNDED FROM GENERAL FUND (Continued)										
37	Museum and Art Gallery - Replacement of 3 display cases and purchase of 3 additional cases. (Funding required as match funding for an external funding bid to the Heritage Lottery for redevelopment of the Museum. The costume collection which is the third largest in the country is currently being held in imperfect show cases which have the potential to injure staff or items during exhibition changes. In addition keeping more of the collection in storage rather than in rotation keeps the costumes in the same stored position which has the potential to degrade their quality. £3,200 funding from corporate sponsorship)	30	AO	NB	-	-	32,400	-	32,400	It is estimated that the new show cases could reduce energy costs by £3,000 p.a. due to a change to LED lights
38	Contribution to WSCC Scheme - South Street Surfacing Improvements (Total cost of scheme £10,700 to remove, re-set and/or replace cobbled section of roadway in three places together with new gully, road markings, etc. Works are required to address safety concerns whilst retaining visual amenity and will be funded from S106 receipts)	29	LD	NB	-	4,400	-	-	4,400	-
Total General Fund Schemes:					1,098,530	2,323,730	4,029,630	1,974,400	8,327,760	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL Bid No. Description		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
Contingency provision for inflation and minor unavoidable overspends					40,000	40,000	40,000	40,000	120,000	
The following schemes fell below the cut off for inclusion in the Capital Programme and it is proposed to carry forward underspends from the 2017/18 Capital Investment Programme to fund these schemes:										
39	MSCPs - Planned structural repairs and improvement programme High Street MSCP: (Major repairs to the fabric of the MSCPs including concrete repairs lift replacements and steel corrosion)	30	DM	EB/NB	-	244,110	-	-	244,110	-
40	Worthing Pier, Southern Pavilion and Seafront Amusements - Fire compliance works (Continuation of fire safety compliance works commenced in 2016/17 to meet the requirements of the WSCC Fire and Rescue Service. Current 2017/18 budget of £314,400 has been profiled over 2017/18 and 2018/19 and a further provision is required for 2019/20)	30	DM	EB	-	-	106,150	-	106,150	-
41	Allotments - Rolling programme of improvements to infrastructure (Improvements to include pipes, paths and fencing which are outside the scope of the self management agreement, and which remain the Council's responsibility. Year 1 replacement of pipes at Tarring allotments)	27	WB	NB	-	16,800	16,800	16,800	50,400	-
TOTAL COST OF FUNDING REQUESTED TO BE C/F FROM 2017/18:					-	260,910	122,950	16,800	400,660	-

WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL Bid No. Description		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implications £
						2018/19 £	2019/20 £	2020/21 £		
TOTAL COST OF PROPOSED CAPITAL INVESTMENT PROGRAMME:					2,000,000	5,779,060	7,073,230	4,845,990	17,698,280	-
The following schemes fell below the cut off for inclusion in the Capital Programme and will be added to the Reserve List, but could be included in the Capital Programme if Councillors choose:										
42	Worthing Leisure Centre - Roof replacement (Reactive repairs are becoming unsustainable due to the age and condition of the roof, and the roof now needs to be replaced. However, the scheme is on hold as an external funding bid is being considered for the for the redevelopment of the Leisure Centre)	27	DM	NB	-	-	300,000	-	300,000	-
43	Cultural Department - Replacement of departmental van (The current vehicle is 10 years old and has been parked for long periods on the seafront. It is now showing extensive signs of corrosion to both the body and mechanicals and parts are difficult to source as this type of vehicle has not been produced for 8 years. Alternative options being considered i) Hiring a van as required ii) Use of the recently purchased pool van)	26	AN	NB	-	-	19,000	-	19,000	-


WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
Bid No.	Description					2018/19 £	2019/20 £	2020/21 £		
FUNDING FOR PROPOSED CAPITAL INVESTMENT PROGRAMME										
External Funding										
	Capital Grants				-	750,000	750,000	750,000	2,250,000	
	Corporate Sponsorship (Theatres)				-	-	11,200	-	11,200	
	Heritage Lottery External Funding Bid				-	-	900,000	-	900,000	
	Lawn Tennis Association Funding Bid				-	200,000	-	-	200,000	
	S106 Funding				-	225,200	20,000	-	245,200	
	Theatres Restoration Levy				-	50,000	50,000	-	100,000	
Revenue Contributions/Reserves										
	New Homes Bonus*				-	50,000	50,000	50,000	150,000	
	AWCS Refuse/Recycling Service				-	19,080	19,080	19,080	57,240	
Prudential Borrowing/Capital Receipts										
	Ring- Fenced RTB Receipts / Housing Receipts				-	-	1,000,000	1,000,000	2,000,000	
	Additional Prudential Borrowing to fund Invest to Save Schemes				-	2,000,000	2,150,000	2,150,000	6,300,000	
	Additional Prudential Borrowing to fund 2 Refuse/Recycling Vehicles				-	223,870	-	-	223,870	
	Funding from 2017/18 Underspends				-	260,910	122,950	16,800	400,660	
TOTAL FUNDING:					2,000,000	5,779,060	7,073,230	4,845,990	17,698,280	

P Partnership Schemes with Adur District Council

* Funding for Empty Property Grants and Loans either by New Homes Bonus or ring-fenced repayments of grants and loans

WORTHING BOROUGH COUNCIL PROPOSED SCHEMES FOR INCLUSION IN CAPITAL INVESTMENT PROGRAMME 2018/19 - 2020/21

 WORTHING BOROUGH COUNCIL		Priority Score	Lead Officer	Existing Bids in CIP/New Bids	Council Resources Funding 2018/19 £	BUDGET PER YEAR			Total Budget £	Annual Revenue Implica- tions £
						2018/19 £	2019/20 £	2020/21 £		
Bid No.	Description									

Lead Officers:

AO	Amanda O'Reilly	Head of Culture
AN	Andy Northeast	Recycling and Waste Management Transport Manager
BR	Bruce Reynolds	Team Leader, Environmental Health
CA	Cally Anthill	Head of Housing
DM	Derek Magee	Engineering/Surveying Manager
JJ	Jan Jonker	Head of Customer and Digital Services
JM	Joy Moir	Strategic Sustainability Consultant
LD	Lynda Dine	Head of Place and Investment
SGR	Sam Gritt	Bereavement Services Officer (Crematorium)
SG	Sarah Gobey	Chief Financial Officer
TP	Tony Patching	Head of Waste and Cleansing
WB	William Boyd	Support Services Manager, Technical Services

ADUR & WORTHING
COUNCILS

SUMMARY OF ADUR AND WORTHING PARTNERSHIP BIDS SUBMITTED FOR INCLUSION IN THE ADUR AND WORTHING CAPITAL INVESTMENT PROGRAMMES 2018/19 - 2020/21


	Scheme	Requesting Officer	Split of Costs ADC / WBC	BUDGET REQUIRED				TOTAL BUDGET £	
				2018/2019	2019/2020	2020/2021	Future		
				£	£	£	£		
1	Grounds Maintenance Service	Equipment Replacements - Equipment used in parks and open spaces	William Boyd	40 / 60	£ 35,000	£ 35,000	£ 35,000	£ 35,000	£ 140,000
2	Grounds Maintenance and Dog Warden Service	Vehicle Replacements - Vehicles used in parks and open spaces, and by the Dog Warden	Andy Northeast	40 / 60 (Parks) 50 / 50 (Dog Warden Service)	£ 157,000	£ 151,000	£ 28,000	£ 596,200	£ 932,200
3	Information and Communications Technology	Corporate ICT hardware and infrastructure replacement programme	Jan Jonker	47 / 53	£ 200,000	£ 215,000	£ 65,000	£ 100,000	£ 580,000
4	Information and Communications Technology	Digital Strategy - Provision to facilitate delivery of the digital strategy	Jan Jonker	47 / 53	£ 225,000	£ 225,000	£ 225,000	£ 225,000	£ 900,000
5	Information and Communications Technology	Digital Strategy - Matsoft Licences Capitalisation	Jan Jonker	47 / 53	£ 75,000	£ -	£ -	£ -	£ 75,000
6	Information and Communications Technology	Payroll System - Replacement	Sarah Gobey	47 / 53	£ 175,000	£ -	£ -	£ -	£ 175,000
7	Refuse / Recycling / Street Cleansing / Clinical Waste	Vehicle Replacements - Year 1 replacement of 1 refuse vehicle, 3 street cleansing vehicles and a graffiti removal van	Andy Northeast	36.4 / 63.6 (Refuse/Recycling) 39.4 / 60.6 (Street Cleansing)	£ 449,500	£ 336,000	£ 472,500	£ 493,900	£ 1,751,900
8	Refuse and Recycling Service	Additional Vehicles - 2 x 26 tonne vehicles required due to the increase in new build properties	Andy Northeast	36.4 / 63.6	£ 352,000	£ -	£ -	£ -	£ 352,000
								124	

ADUR & WORTHING
COUNCILS


SUMMARY OF ADUR AND WORTHING PARTNERSHIP BIDS SUBMITTED FOR INCLUSION IN THE ADUR AND WORTHING CAPITAL INVESTMENT PROGRAMMES 2018/19 - 2020/21

		Scheme	Requesting Officer	Split of Costs ADC / WBC	BUDGET REQUIRED				TOTAL BUDGET £
					2018/2019	2019/2020	2020/2021	Future	
					£	£	£	£	
9	Refuse and Recycling Service	Wheeled Bin Replacements	Tony Patching	36.4 / 63.6	£ 50,000	£ 50,000	£ 50,000	£ 50,000	£ 200,000
BUDGET REQUIRED:					£ 1,718,500	£ 1,012,000	£ 875,500	£ 1,500,100	£ 5,106,100
FUNDING FROM ICT RING FENCED PROVISION:					£ 150,000	£ 150,000	£ 150,000	£ 100,000	£ 550,000
FUNDING FROM DIGITAL STRATEGY PROVISION:					£ 225,000	£ 225,000	£ 225,000	£ 225,000	£ 900,000
FUNDING FROM PARTNERSHIP RING FENCED PROVISION:					£ 663,000	£ 637,000	£ 500,500	£ 1,175,100	£ 2,975,600
FUNDING FROM ADDITIONAL PRUDENTIAL BORROWING:					£ 680,500	£ -	£ -	£ -	£ 680,500

ADUR HOMES CAPITAL INVESTMENT PROGRAMME 2018/19

 ADUR DISTRICT COUNCIL	Description	Lead Officer	Existing Scheme in CIP/New Scheme	2018/19 £
1	External Structural Works Programme of works to include: i) Flat Roof Recovering/Replacement Programme ii) Re-Pointing Programme and Structural Works iii) Pitched Roofs Recovering/Replacement iv) External Joinery and Window Replacement v) Replacement/Upgrade of Door Entry Systems	CA	EB	1,590,000
2	Communal Area Works Programme of works to include: i) Wall surfaces ii) Flooring - major repairs and replacements iii) Lighting	CA	EB	100,000
3	Kitchen and Bathroom Improvements Refurbishment programme to meet Government decency standards	CA	EB	850,000
4	Environmental Improvements Projects that will enhance or improve the estate, immediate surroundings and/or facilities	CA	EB	60,000
5	Fire Safety Order Works Rolling programme of work to meet Regulatory Reform (Fire Safety) Order 2005 identified from Fire Risk Assessments	CA	EB	800,000
6	Central Heating Installation Full central heating installation	CA	EB	50,000
7	Stock Condition Survey This is essential to inform a planned programme of works. The surveys commenced in 2016/17 and a 20% sample will be undertaken each year to ensure a 100% cyclical inspection programme every five years	CA	EB	40,000
8	Asbestos Management As a landlord Adur Homes has a duty to manage the asbestos used in the construction of their properties and any potential risk this might cause. This applies to common areas of residential buildings.	CA	EB	40,000
9	Boiler Replacements Boilers, heating controls, gas fires or existing heating systems found to be failing or beyond repair are replaced with high efficiency boilers with improved controls where necessary	CA	EB	130,000
10	Responsive Capital Works Individual urgent capital works identified in advance of planned programmed works	CA	EB	100,000

ADUR HOMES CAPITAL INVESTMENT PROGRAMME 2018/19

 ADUR DISTRICT COUNCIL	Description	Lead Officer	Existing Scheme in CIP/New Scheme	2018/19 £
11	Disability Adaptations for Homes On-going programme providing access and home facilities for Council tenants with disabilities	CA	EB	280,000
12	Capital Works on Empty (Void) Properties Over the course of a year a number of homes become vacant and require capital works before they can be re-let	CA	EB	100,000
13	Sheltered Accommodation - Community Alarms Systems Programme to replace the existing Community Alarm systems which are nearing the end of their effective life and also to replace components	CA	EB	99,800
14	ICT Systems Essential upgrades to the current Housing Management System	CA	EB	20,000
15	Professional and Consultancy Fees	CA	EB	504,000
BUDGET REQUIREMENT:				4,763,800
16	Property Development and Acquisition The acquisition and development of properties to let. Funded from the new Development and Acquisition Reserve / Prudential Borrowing and RTB Capital Receipts	CA	EB	436,200
TOTAL BUDGET REQUIREMENT:				5,200,000
FUNDING:				
	Capital Receipts			663,800
	Prudential Borrowing			136,200
	HRA Development and Refurbishment of Housing Reserve			0
	HRA Major Repairs Reserve			4,400,000
TOTAL FUNDING:				5,200,000

Budgets for 2019/20 and 2020/21 are currently being developed in line with the outcome of the condition survey and will be the subject of a further report in due course.



ADUR DISTRICT COUNCIL - CUSTOMER SERVICES

RESERVE LIST : FUTURE CAPITAL INVESTMENT PROGRAMME : ADDITIONS, AMENDMENTS AND DELETIONS

Scheme	Estimates £	Reason	Officers Recommendations
<p>ADUR HOMES BUILDING SERVICES Provision for the replacement of vehicles</p>	360,900	Operational vehicles will need to be replaced when they reach the end of their economic lives	Add to Reserve List
<p>AFFORDABLE HOUSING Partnership schemes with Registered Social Landlords to provide affordable housing (Annual provision)</p>	1,000,000	Provision increased to ensure that there is sufficient financial capacity to fund any schemes coming forward	Amend Reserve List
<p>CENSUS ICT PARTNERSHIP CenSus ICT Partnership Projects (Annual provision)</p>	25,000	As Adur District Council and Worthing Borough Council move toward a cloud based ICT service, this provision is no longer required	Remove from Reserve List



ADUR DISTRICT COUNCIL - ENVIRONMENT

RESERVE LIST : FUTURE CAPITAL INVESTMENT PROGRAMME : ADDITIONS, AMENDMENTS AND DELETIONS

Scheme	Estimates £	Reason	Officers Recommendations
<p>ADUR AND WORTHING SERVICES DEPOTS Replacement of the weightbridge at the Meadow Road Depot</p>	17,110	The current equipment is worn out and defective due to corrosion and spare parts are not available due to its age.	Add to Reserve List
<p>ALLOTMENTS Rolling programme of improvements to include replacements and improvements to pathways, old water pipes and fencing (Annual provision)</p>	16,800	Estimate revised	Amend Reserve List
<p>GROUNDS MAINTENANCE Provision for the replacement of vehicles for the joint service (Partnership scheme with Worthing Borough Council. Total cost £596,200)</p>	238,480	Estimate revised.	Amend Reserve List
<p>OPERATIONAL VEHICLES Provision for the replacement of vehicles for joint services (Partnership scheme with Worthing Borough Council. Total cost £76,000)</p>	33,440	Estimate revised	Amend Reserve List
<p>PUBLIC CONVENIENCES Programme of works to improve and upgrade the Council's public conveniences (Annual provision)</p>	50,000	Estimate revised	Amend Reserve List



ADUR DISTRICT COUNCIL - ENVIRONMENT

RESERVE LIST : FUTURE CAPITAL INVESTMENT PROGRAMME : ADDITIONS, AMENDMENTS AND DELETIONS

Scheme	Estimates £	Reason	Officers Recommendations
<p><i>REFUSE / RECYCLING / STREET CLEANSING SERVICE</i> Provision for the replacement of vehicles for the joint service (Partnership scheme with Worthing Borough Council. Total cost £493,900)</p>	194,150	Estimate revised	Amend Reserve List



Scheme	Estimates £	Reason	Officers Recommendations
<p><i>DISABILITY DISCRIMINATION ACT IMPROVEMENTS</i> Shoreham Coastal Footway - Provision of a footpath to improve and extend the existing footpath. Phase 4 Ferry Road to the existing concrete path opposite 5 Beach road</p>	220,000	Phase 4 included in the proposed 2019/20 Capital Investment Programme	Remove from Reserve List
<p><i>ROPETACKLE COMMUNITY CENTRE</i> Replacement of main auditorium vinyl flooring</p>	28,000	Due to the age and condition of the floor, reactive repairs will not be sustainable in the long term, and a full replacement will be required	Add to Reserve List



ADUR DISTRICT COUNCIL - RESOURCES

RESERVE LIST : FUTURE CAPITAL INVESTMENT PROGRAMME : ADDITIONS, AMENDMENTS AND DELETIONS

Scheme	Estimates £	Reason	Officers Recommendations
<p>ADMIN BUILDINGS Shoreham Centre - Replacement of main hall roof</p>	168,000	It is anticipated that the current roof has a life expectancy of 5 years before it will need replacing	Add to Reserve List



WORTHING BOROUGH COUNCIL - CUSTOMER SERVICES

RESERVE LIST : FUTURE CAPITAL INVESTMENT PROGRAMME : ADDITIONS, AMENDMENTS AND DELETIONS

Scheme	Estimates £	Reason	Officer's Recommendations
AFFORDABLE HOUSING Partnership schemes with Registered Social Landlords to provide affordable housing (Annual provision)	1,000,000	Provision increased to ensure that there is sufficient financial capacity to fund any schemes coming forward	Amend Reserve List
CONNAUGHT THEATRE Theatre - Improvements to auditorium ventilation	N/C	Works included in the proposed 2018/19 Capital Investment Programme	Remove from Reserve List
HOUSING RENOVATION ASSISTANCE Discretionary grants and loans to finance home repairs and home insulation works (Annual provision)	70,000	Estimate Revised	Amend Reserve List
MUSEUM AND ART GALLERY Replacement of display cases	16,200	Replacements included in the proposed 2019/20 Capital Investment Programme	Remove from Reserve List
PAVILION THEATRE Theatre - Replacement seating	403,750	Replacements included in the proposed 2019/20 Capital Investment Programme	Remove from Reserve List
Upgrade of florescent fittings in the perimeter lighting to LED	15,000	Fittings are failing and an upgrade to LED would be energy efficient	Add to Reserve List



WORTHING BOROUGH COUNCIL - CUSTOMER SERVICES

RESERVE LIST : FUTURE CAPITAL INVESTMENT PROGRAMME : ADDITIONS, AMENDMENTS AND DELETIONS

Scheme	Estimates £	Reason	Officer's Recommendations
RICHMOND ROOM Roof - Renewal of felt covering	51,700	Works included in the proposed 2018/19 Capital Investment Programme	Remove from Reserve List
RITZ CINEMA Auditorium - Provision of air conditioning	33,000	Works included in the proposed 2019/20 Capital Investment Programme	Remove from Reserve List
Toilets - Refurbishment	15,500	Works completed in 2017/18	Remove from Reserve List



WORTHING BOROUGH COUNCIL - ENVIRONMENT

RESERVE LIST : FUTURE CAPITAL INVESTMENT PROGRAMME : ADDITIONS, AMENDMENTS AND DELETIONS

Scheme	Estimates £	Reason	Officer's Recommendations
ADUR AND WORTHING SERVICES DEPOTS Replacement of the weightbridge at the Meadow Road Depot	29,890	The current equipment is worn out and defective due to corrosion and spare parts are not available due to its age	Add to Reserve List
ALLOTMENTS Rolling programme of improvements to include replacements and improvements to pathways, old water pipes and fencing (Annual provision)	16,800	Estimate revised	Amend Reserve List
CAR PARKS Teville Gate Multi-Storey Car Park - Major repairs and refurbishment	N/C)	Remove from Reserve List
Teville Gate Multi-Storey Car Park - Renew profile glazing panels	11,000) The Multi Storey Car Park is to be demolished and replaced with a surface car park	Remove from Reserve List
Teville Gate Multi-Storey Car Park - Resurface the top deck	88,000)	Remove from Reserve List
GROUNDS MAINTENANCE Provision for the replacement of vehicles for the joint service (Partnership scheme with Adur District Council. Total cost £596,200)	357,720	Estimate revised	Amend Reserve List



WORTHING BOROUGH COUNCIL - ENVIRONMENT

RESERVE LIST : FUTURE CAPITAL INVESTMENT PROGRAMME : ADDITIONS, AMENDMENTS AND DELETIONS

Scheme	Estimates £	Reason	Officer's Recommendations
<p>MEADOW ROAD DEPOT Reconstruction of hard surfaces</p>	50,400	The existing concrete construction north of the raised area where large roll on/off containers are stored is failing. Reactive repairs are becoming unsustainable due to the age and condition of the area. A full reconstruction of the existing concrete area will be required in the future	Add to Reserve List
<p>OPERATIONAL VEHICLES Provision for the replacement of vehicles for the joint services (Partnership scheme with Adur District Council. Total cost £76,000)</p>	42,560	Estimate revised	Amend Reserve List
<p>PUBLIC CONVENIENCES Selected refurbishment programme (Annual provision)</p>	100,000	Estimate Revised	Amend Reserve List
<p>REFUSE/RECYCLING/STREET CLEANSING SERVICE Provision for the replacement of vehicles for the joint service (Partnership scheme with Adur District Council. Total cost £493,900)</p>	299,750	Estimate Revised	Amend Reserve List



WORTHING BOROUGH COUNCIL - ENVIRONMENT
RESERVE LIST : FUTURE CAPITAL INVESTMENT PROGRAMME : ADDITIONS, AMENDMENTS AND DELETIONS

Scheme	Estimates £	Reason	Officer's Recommendations
WORTHING LEISURE CENTRE Respray athletics track	150,000	Works being undertaken in 2017/18 - 2018/19	Remove from Reserve List
Roof Areas - Renewal of flat roof areas	300,000	Estimate Revised	Amend Reserve List



WORTHING BOROUGH COUNCIL - RESOURCES
RESERVE LIST : FUTURE CAPITAL INVESTMENT PROGRAMME : ADDITIONS, AMENDMENTS AND DELETIONS

Scheme	Estimates £	Reason	Officer's Recommendations
INFORMATION AND COMMUNICATIONS TECHNOLOGY CenSus ICT Partnership Schemes (Annual provision)	25,000	As Adur District Council and Worthing Borough Council move toward a cloud based ICT service, this provision is no longer required	Remove from Reserve List
OFFICE EQUIPMENT Replacement of committee rooms conference microphones	25,000	Replacement included in 2020/21 Capital Investment Programme	Remove from Reserve List
PROPERTY MANAGEMENT Provision of wheeled bin storage facilities and demolition of existing building	49,500	Facilities to be reviewed following current service restructure and possible changes to depot usage	Remove from Reserve List


**SUMMARY
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL	Total Estimate £	CAPITAL ESTIMATES						
		Prior to 1.4.2016 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
			Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
BUDGETS					#			
Executive Member for Customer Services	44,496,090	-	9,017,160	8,556,480	9,681,610	8,286,000	8,886,000	9,086,000
Executive Member for Environment	6,045,980	505,600	3,047,670	3,038,930	1,183,780	459,650	446,010	412,010
Executive Member for Health and Wellbeing	519,100	840	219,800	91,060	156,800	236,800	16,800	16,800
Executive Member for Regeneration	142,300,880	752,290	13,450,500	30,505,920	33,399,000	27,380,900	25,237,770	25,025,000
Executive Member for Resources	2,245,340	85,830	250,000	553,690	592,050	377,070	325,400	311,300
	195,607,390	1,344,560	25,985,130	42,746,080	45,013,240	36,740,420	34,911,980	34,851,110
FINANCING								
Capital Grants and Contributions								
Communities and Local Government			3,200,000	835,470	405,000	350,000	575,270	350,000
Environment Agency			55,500	107,480	12,500	1,140,500	12,500	25,000
S106 Contributions from Planning Agreements			877,000	1,452,510	150,000	-	-	-
Other Contributions			-	65,990	131,500	-	-	-
Prudential Borrowing			15,145,570	33,621,250	37,362,910	28,898,200	27,836,290	27,988,190
Revenue Contributions and Reserves								
Revenue Contributions			70,970	96,290	81,920	81,920	81,920	81,920
Revenue Reserves			5,895,610	4,472,340	6,105,610	4,400,000	4,400,000	4,400,000
Usable Capital Receipts			740,480	2,094,750	763,800	1,869,800	2,006,000	2,006,000
			25,985,130	42,746,080	45,013,240	36,740,420	34,911,980	34,851,110


SUMMARY
THREE YEAR CAPITAL INVESTMENT PROGRAMME

 ADUR DISTRICT COUNCIL	CAPITAL ESTIMATES					
	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
	Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)
DETAILED FUNDING						
Capital Grants and Contributions						
<u>Communities and Local Government</u>						
Better Care Fund (Disabled Facilities Grants)	305,000	437,160	350,000	350,000	350,000	350,000
Local Enterprise Partnership (Governments Growth Deal) (Shoreham Harbour Walls Project)	2,820,000	147,620	-	-	-	-
(Adur Civic Centre Redevelopment)	-	200,000	-	-	-	-
Planning Delivery Grant (Ferry Road Environmental Improvements)	-	20,690	-	-	-	-
Shoreham Harbour Growth Point Grant (Shoreham Harbour Projects)	75,000	30,000	55,000	-	225,270	-
	3,200,000	835,470	405,000	350,000	575,270	350,000
<u>Environment Agency</u>						
Coast Protection Grant (Adur Beach Management Plan - Preliminary Study for the Rivers Arun to Adur)	-	24,980	-	-	-	-
(Strategic Monitoring Project for the South East Phase 4)	12,500	12,500	12,500	12,500	12,500	25,000
(Shoreham Harbour Walls Project)	43,000	70,000	-	1,128,000	-	-
	55,500	107,480	12,500	1,140,500	12,500	25,000
<u>S106 Contributions from Planning Agreements</u>						
(Affordable Housing - Unallocated provision)	477,000	477,000	-	-	-	-
(Contribution to the Sir Robert Woodward Academy for the provision of a 3G pitch)	-	630,000	-	-	-	-
(Buckingham Park Pavilion - Replacement)	150,000	150,000	-	-	-	-
(Contribution to skateboard park, Beach Green, Lancing)	-	100,000	-	-	-	-


**SUMMARY
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL	CAPITAL ESTIMATES					
	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
	Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)
<u>DETAILED FUNDING (Continued)</u>						
<i>Capital Grants and Contributions (Continued)</i>						
<i><u>S106 Contributions from Planning Agreements (Continued)</u></i>						
(Southwick Leisure Centre - Upgrade of tennis courts)	150,000	-	150,000	-	-	-
(Wadurs Swimming Pool - Expansion of changing facilities)	100,000	95,510	-	-	-	-
	877,000	1,452,510	150,000	-	-	-
<i><u>Other Contributions</u></i>						
<i>Donations</i>						
(Shoreham Air Crash Memorial)	-	23,500	131,500	-	-	-
Rampion Offshore Wind Ltd (Ferry Road footpath access to Shoreham Beach Nature Reserve landscaping)	-	20,500	-	-	-	-
Worthing Borough Council (Contribution to the Preliminary Study for the Rivers Arun to Adur)	-	16,990	-	-	-	-
West Sussex County Council (Contribution to the provision of street scene benches)	-	2,000	-	-	-	-
West Sussex County Council (Contribution to the provision of benches for Riverside Car Park)	-	3,000	-	-	-	-
	-	65,990	131,500	-	-	-
<i>Prudential Borrowing</i>						
<i>Housing Revenue Account - Housing Capital Investment Programme</i>	-	1,134,510	236,200	536,200	1,000,000	1,200,000
<i><u>Invest to Save Schemes</u></i>						
(Property Acquisition - Acquisition of emergency or temporary property for the homeless)	1,200,000	-	2,200,000	1,000,000	1,000,000	1,000,000
(Southwick Leisure Centre - Upgrade of tennis courts)	150,000	-	150,000	-	-	-
(Strategic Property Investment Fund for investments in commercial property)	10,000,000	25,000,000	25,000,000	25,000,000	25,000,000	25,000,000


**SUMMARY
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL	CAPITAL ESTIMATES					
	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
	Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)
<u>DETAILED FUNDING (Continued)</u>						
<i>Prudential Borrowing (Continued)</i>						
<u>General Fund Schemes</u>						
(Construction of a new office building)	-	1,200,000	8,200,000	1,200,000	-	-
(Replacement of refuse/recycling fleet)	1,450,000	1,483,950	-	-	-	-
(Other Schemes)	2,345,570	4,802,790	1,576,710	1,162,000	836,290	788,190
	15,145,570	33,621,250	37,362,910	28,898,200	27,836,290	27,988,190
<i>Revenue Contributions and Reserves</i>						
<u>Revenue Contributions</u>						
Community Alarm Service (Purchase of community alarm equipment)	25,550	25,550	50,000	50,000	50,000	50,000
Housing Revenue Account (Asset Management System)	13,500	13,500	-	-	-	-
New Homes Bonus (Empty Properties - Grants and loans to bring empty properties back into use)	21,000	46,320	21,000	21,000	21,000	21,000
Adur and Worthing Refuse and Recycling Service (Wheeled bin replacements)	10,920	10,920	10,920	10,920	10,920	10,920
	70,970	96,290	81,920	81,920	81,920	81,920


**SUMMARY
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL	CAPITAL ESTIMATES					
	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
	Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)
DETAILED FUNDING (Continued)						
Revenue Contributions and Reserves (Continued)						
<u>Revenue Reserves</u>						
Insurance Reserve						
(Insurance Claim - Replacement of stolen mechanical excavator)	-	2,340	-	-	-	-
Reserve for Development and Refurbishment of Housing						
(Development and refurbishment of Council Dwellings)	1,795,610	70,000	1,705,610	-	-	-
Major Repairs Reserve						
(Adur Homes Capital Investment Programme)	4,100,000	4,400,000	4,400,000	4,400,000	4,400,000	4,400,000
	5,895,610	4,472,340	6,105,610	4,400,000	4,400,000	4,400,000
Usable Capital Receipts						
Affordable Housing	140,480	1,276,430	-	1,000,000	1,000,000	1,000,000
Adur Homes Capital Investment Programme	600,000	600,000	663,800	863,800	1,000,000	1,000,000
Non Ring-Fenced	-	44,410	-	6,000	6,000	6,000
Ring-Fenced						
(Shoreham Renaissance - Shoreham Air Crash Memorial)	-	11,500	-	-	-	-
(Shoreham Renaissance - Lower Beach Car Park refurbishment)	-	62,410	100,000	-	-	-
(Adur Civic Centre Redevelopment - Phase II South)	-	100,000	-	-	-	-
	740,480	2,094,750	763,800	1,869,800	2,006,000	2,006,000


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - £250,000 AND UNDER</u>									
<i>CenSus ICT Partnership</i> Provision for ICT schemes (Residual payments outstanding from former partnership)	JJ	9,000	-	50,000	9,000	-	-	-	-
<i>Community Alarm Service</i> Purchase of community alarm equipment to replace old equipment (Funded from the Community Alarm Service)	BR	125,550	-	25,550	25,550	50,000	50,000	-	-
<i>Housing</i> Empty property grants and loans to bring empty properties back into use (Funded from additional 'New Homes Bonus' based on number of properties brought back into use)	BR	88,320	-	21,000	46,320	21,000	21,000	-	-
<i>Housing Renewal Assistance</i> <u>Discretionary Grants</u> Home Repair Assistance Grants	BR	200,510	-	65,000	80,510	55,000	65,000	-	-
<u>Mandatory Grants</u> Disabled Facilities Grants (Funded by DCLG Better Care Fund)	BR	1,137,160	-	350,000	437,160	350,000	350,000	-	-
<i>Affordable Housing</i> Grant to Worthing Homes Southlands Hospital Development (Funded from 'Right to Buy' capital receipts)	CA	753,430	-	-	753,430	-	-	-	-
		2,313,970	-	511,550	1,351,970	476,000	486,000	-	-


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
COMMITTED SCHEMES - KEY DECISIONS									
Affordable Housing Grants to Registered Social Landlords for the provision of affordable housing (Funded from S106 receipts and capital receipts)	CA	2,000,000	-	810,000	1,000,000	-	1,000,000	-	-
Property Acquisitions Acquisition of emergency interim or temporary accommodation for the homeless (Invest to Save Scheme)	CA	3,200,000	-	1,200,000	-	2,200,000	1,000,000	-	-
		5,200,000	-	2,010,000	1,000,000	2,200,000	2,000,000	-	-
FUTURE PROGRAMME									
Affordable Housing Grants to Registered Social Landlords for the provision of affordable housing (Funded from S106 receipts and capital receipts)	CA	2,000,000	-	-	-	-	-	1,000,000	1,000,000
Community Alarm Service Purchase of community alarm equipment to replace old equipment (Funded from the Community Alarm Service)	BR	100,000	-	-	-	-	-	50,000	50,000
Housing Empty property grants and loans to bring empty properties back into use (Funded from additional 'New Homes Bonus' based on number of properties brought back into use, and repayments of grants and loans made)	BR	42,000	-	-	-	-	-	21,000	21,000


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

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			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>FUTURE PROGRAMME (continued)</u>									
<i>Housing Renewal Assistance</i>									
<u>Discretionary Grants</u>									
Home Repair Assistance Grants	BR	130,000	-	-	-	-	-	65,000	65,000
<u>Mandatory Grants</u>									
Disabled Facilities Grants (Funded by DCLG Better Care Fund)	BR	700,000	-	-	-	-	-	350,000	350,000
<i>Property Acquisitions</i>									
Acquisition of emergency interim or temporary accommodation for the homeless (Invest to Save Scheme)	CA	2,000,000	-	-	-	-	-	1,000,000	1,000,000
<i>Contingency: Inflation and Fluctuations</i>									
		-	-	-	-	-	-	-	-
		4,972,000	-	-	-	-	-	2,486,000	2,486,000
TOTAL GENERAL FUND SCHEMES		12,485,970	-	2,521,550	2,351,970	2,676,000	2,486,000	2,486,000	2,486,000


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>ADUR HOMES - HOUSING INVESTMENT PROGRAMME</u>									
<u>COMMITTED SCHEMES</u>									
1 Disability Adaptations for Homes On-going programme providing access and home facilities for Council tenants with disabilities	CA	873,600	-	260,000	313,600	280,000	280,000	-	-
2 External Structural Works i) Flat Roof Recovering/Replacement Programme ii) Re-Pointing Programme and Structural Works Essential work to keep buildings water tight and maintain structures iii) Pitched Roofs Recovering/Replacement Renewal of roof coverings, timber structures, chimney stacks and firewalls iv) External Joinery and Window Replacements Replacement of double glazed windows, external doors and timber frames v) Replacement/Upgrade of door entry systems	DM	5,101,580	-	800,000	1,565,580	1,590,000	1,946,000	-	-
3 Kitchen and Bathroom Improvements Refurbishment programme to meet Government decency standards	DM	3,220,980	-	1,652,200	1,520,980	850,000	850,000	-	-
4 Environmental Improvements Projects that enhance or improve the estate, immediate surroundings and/or facilities as part of the Decent Homes Programme	DM	207,630	-	40,000	87,630	60,000	60,000	-	-


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>ADUR HOMES - HOUSING INVESTMENT PROGRAMME (continued)</u>									
<u>COMMITTED SCHEMES (continued)</u>									
5 Communal Area Works Wall surfaces, flooring repairs and replacements, and lighting	DM	760,000	-	-	560,000	100,000	100,000	-	-
6 Fire Safety Order Works Rolling programme of works to meet Regulatory Reform (Fire Safety) Order 2005 identified from Fire Risk Assessments	DM	2,944,620	-	560,000	1,344,620	800,000	800,000	-	-
7 Central Heating Installation Programme Full central heating installation	DM	178,400	-	400,000	78,400	50,000	50,000	-	-
8 Boiler Replacements Boilers, heating controls, gas fires or existing heating systems found to be failing or beyond repair are replaced with high efficiency boilers with improved controls where necessary	CA	390,000	-	400,000	130,000	130,000	130,000	-	-
9 Stock Condition Survey To inform a planned programme of structural works	DM	124,800	-	30,000	44,800	40,000	40,000	-	-
10 Asbestos Management Management and removal of asbestos found in council dwellings	DM	150,220	-	40,000	70,220	40,000	40,000	-	-
11 Responsive Capital Repairs Urgent capital repairs identified in advance of planned capital works	CA	363,680	-	150,000	163,680	100,000	100,000	-	-


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>ADUR HOMES - HOUSING INVESTMENT PROGRAMME (continued)</u>									
<u>COMMITTED SCHEMES (continued)</u>									
12 Capital Works on Empty Properties Over the course of a year approximately 120 council dwellings become vacant and require capital works before they can be re-let	CA	420,000	-	200,000	220,000	100,000	100,000	-	-
13 Sheltered Accommodation - Community Alarms Systems Replacement of existing community alarm communication/alert system	BR	199,800	-	132,800	-	199,800	-	-	-
14 ICT Systems Essential upgrades to the current Housing Management System	PT	55,000	-	35,000	15,000	20,000	20,000	-	-
15 Software to assess and enable the development of building schemes for Adur District Council	CA	20,000	-	-	20,000	-	-	-	-
16 Development of Properties The development of new properties for let by Adur Homes. (Funded from the new Development and Acquisition Reserve)	CA	2,873,810	-	1,795,610	70,000	2,141,810	662,000	-	-
17 Professional and Consultancy Services	CA	1,126,000	-	-	-	504,000	622,000	-	-
		19,010,120	-	6,495,610	6,204,510	7,005,610	5,800,000	-	-


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>ADUR HOMES - HOUSING INVESTMENT PROGRAMME (continued)</u>									
<u>FUTURE PROGRAMME</u>									
1 External Structural Works i) Flat Roof Recovering/Replacement Programme ii) Re-Pointing Programme and Structural Works Essential work to keep buildings water tight and maintain structures iii) Pitched Roofs Recovering/Replacement Renewal of roof coverings, timber structures, chimney stacks and firewalls iv) External Joinery and Window Replacements Replacement of double glazed windows, external doors and timber frames v) Replacement/Upgrade of door entry systems	DM	4,833,000	-	-	-	-	-	2,350,000	2,483,000
2 Kitchen and Bathroom Improvements Refurbishment programme to meet Government decency standards replacements	DM	1,700,000	-	-	-	-	-	850,000	850,000
3 Environmental Improvements Major repair items or improvements to external communal areas and facilities as part of the Decent Homes Programme	DM	120,000	-	-	-	-	-	60,000	60,000
4 Communal Area Works Wall surfaces, flooring repairs and replacements, and lighting	DM	200,000	-	-	-	-	-	100,000	100,000


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
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				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>ADUR HOMES - HOUSING INVESTMENT PROGRAMME (continued)</u>									
<u>FUTURE PROGRAMME (continued)</u>									
5 Fire Safety Order Works Rolling programme of works to meet Regulatory Reform (Fire Safety) Order 2005 identified from Fire Risk Assessments	DM	1,600,000	-	-	-	-	-	800,000	800,000
6 Central Heating Installation Programme Full central heating installation	DM	100,000	-	-	-	-	-	50,000	50,000
7 Stock Condition Survey To inform a planned programme of structural works	DM	80,000	-	-	-	-	-	40,000	40,000
8 Asbestos Management Management and removal of asbestos found in council dwellings	DM	80,000	-	-	-	-	-	40,000	40,000
9 Boiler Replacements Boilers, heating controls, gas fires or existing heating systems found to be failing or beyond repair are replaced with high efficiency boilers with improved controls where necessary	CA	260,000	-	-	-	-	-	130,000	130,000
10 Responsive Capital Repairs Urgent capital works identified in advance of planned capital works	CA	200,000	-	-	-	-	-	100,000	100,000


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>ADUR HOMES - HOUSING INVESTMENT PROGRAMME (continued)</u>									
<u>FUTURE PROGRAMME (continued)</u>									
11 Disability Adaptations for Homes On-going programme providing access and home facilities for Council tenants with disabilities	BR	560,000	-	-	-	-	-	280,000	280,000
12 Capital Works on Empty Properties Over the course of a year approximately 120 council dwellings become vacant and require capital works before they can be re-let	CA	200,000	-	-	-	-	-	100,000	100,000
13 Development of Properties The development of new properties for let by Adur Homes. (Funded from the new Development and Acquisition Reserve)	CA	1,680,000	-	-	-	-	-	840,000	840,000
14 ICT Systems Essential upgrades to the current Housing Management System	PT	40,000	-	-	-	-	-	20,000	20,000
15 Professional and Consultancy Services	CA	1,347,000	-	-	-	-	-	640,000	707,000
		13,000,000	-	-	-	-	-	6,400,000	6,600,000
TOTAL HOUSING INVESTMENT PROGRAMME		32,010,120	-	6,495,610	6,204,510	7,005,610	5,800,000	6,400,000	6,600,000
TOTAL		44,496,090	-	9,017,160	8,556,480	9,681,610	8,286,000	8,886,000	9,086,000


**CABINET MEMBER FOR ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
COMMITTED SCHEMES - £250,000 AND UNDER									
Allotments									
Rolling programme of replacements and improvements (Works to include pathways, old water pipes and fencing)	AE	33,600	-	-	-	16,800	16,800	-	-
Car Parks									
* Middle Street car park resurfacing of hard surfaces	DM	32,000	-	32,000	32,000	-	-	-	-
Cemeteries									
Replacement of stolen mechanical excavator (Part funded from insurance claim)	AE	12,100	-	-	12,100	-	-	-	-
Compliance Service									
Replacement of one vehicle (Partnership scheme with Worthing Borough Council. Total cost £13,000)	AN	5,200	-	-	5,200	-	-	-	-
Grounds Maintenance / Dog Warden Service									
Replacement of 12 vehicles (Partnership scheme with Worthing Borough Council. Total cost £433,900)	AN	176,000	-	43,400	50,300	65,300	60,400	-	-
Grounds Maintenance Service									
Rolling programme of equipment replacements (Partnership scheme with Worthing Borough Council. Total cost £35,000 p.a.)	AE	28,000	-	-	-	14,000	14,000	-	-
Lancing Manor Leisure Centre									
* Electrical rewire	DM	68,000	-	-	-	-	34,000	34,000	-


**CABINET MEMBER FOR ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

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				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - £250,000 AND UNDER</u> <u>(continued)</u>									
<i>Lancing Manor Leisure Centre</i>									
* External cladding replacement	DM	13,500	-	-	-	-	13,500	-	-
* Renewal of flat roof areas over the kitchen and offices	DM	18,940	-	13,440	18,940	-	-	-	-
* Renewal of flat roof area over the entrance hall and replacement of glazing units in the entrance hall	DM	44,800	-	44,800	44,800	-	-	-	-
<i>Landscaping</i>									
Ferry Road footpath access to Shoreham Beach Nature Reserve landscaping (Funding: Rampion Offshore Wind Ltd £20,500 and Planning Delivery Grant £6,500)	AE	27,000	-	-	27,000	-	-	-	-
<i>Parks and Open Spaces</i>									
Buckingham Park - Contribution to the replacement of the pavilion (£150,000 funded from S106 receipts)	AE/DM	172,000	-	172,000	172,000	-	-	-	-
* Adur Recreation Ground - Fencing renewal	DM	22,400	-	22,400	22,400	-	-	-	-
<i>Outdoor Fitness Equipment</i> (Fishersgate Recreation Ground)	AE	20,000	-	-	-	20,000	-	-	-
Sites to be agreed	AE	20,000	-	-	-	-	20,000	-	-
Skateboard Park on Lancing Beach Green - Contribution to Lancing Parish scheme (Funded from S106 receipts)	JA	100,000	-	-	100,000	-	-	-	-


**CABINET MEMBER FOR ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

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			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - £250,000 AND UNDER</u>									
<u>(continued)</u>									
<i>Parks and Open Spaces (continued)</i>									
Southern Water compliance works to water stand pipes to ensure the Council's parks' water supplies comply with water regulations and to avoid the potential risk of contamination of fresh water main supplies	DM	84,000	-	84,000	84,000	-	-	-	-
* Southwick Recreation Ground - Refurbishment of access road	DM	36,000	3,500	-	-	32,500	-	-	-
<i>Play Area Improvements</i>									
Adur Memorial Recreation Ground	AE	100,800	-	-	-	100,800	-	-	-
Elmgrove Open Space	AE	82,500	13,450	75,000	69,050	-	-	-	-
Middle Road Recreation Ground	AE	100,800	-	-	-	-	100,800	-	-
Quayside Play Area (New play area for children up to the age of 12 years)	AE	156,800	-	156,800	75,000	81,800	-	-	-
<i>Public Conveniences</i>									
Rolling programme of upgrades and improvements	DM	100,000	-	-	-	50,000	50,000	-	-
<i>Refuse/Recycling Service</i>									
Provision of wheeled bins (Partnership scheme with Worthing Borough Council. Total cost £50,000 p.a. Part funded from a revenue contribution of £10,920)	TP	54,600	-	18,200	18,200	18,200	18,200	-	-


**CABINET MEMBER FOR ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

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			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - £250,000 AND UNDER</u> <u>(continued)</u>									
<i>Southwick Leisure Centre</i> * Renewal of flat roof areas	DM	145,000	5,280	50,000	139,720	-	-	-	-
Upgrade of tennis courts (£150,000 funded from S106 receipts)	DM	322,000	-	322,000	-	322,000	-	-	-
<i>Street Cleansing / Refuse / Recycling</i> Procurement of 2 new refuse / recycling vehicles required for a new collection round due to the increase in new build properties in both the Adur District and Worthing Borough (Partnership scheme with Worthing Borough Council. Total cost £352,000)	AN	128,130	-	-	-	128,130	-	-	-
Replacement of 17 vehicles (Partnership scheme with Worthing Borough Council. Total cost £1,116,800)	AN	434,660	-	98,680	68,460	234,250	131,950	-	-
<i>Street Lighting</i> Enhancements to WSCC lighting in Conservation Areas or near Heritage Sites (Upgrade of WSCC street lighting)	DM	30,000	1,000	-	29,000	-	-	-	-
<i>Streetscene</i> Rolling programme of works to improve the environment of Adur District (Contribution of £2,000 from WSCC)	LD	154,780	-	140,100	154,780	-	-	-	-


**CABINET MEMBER FOR ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

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			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - £250,000 AND UNDER</u> <u>(continued)</u>									
<i>Wadurs Swimming Pool</i> Expansion of changing facilities (Funded from S106 receipts)									
	DM	100,000	4,490	100,000	95,510	-	-	-	-
		2,823,610	27,720	1,372,820	1,218,460	1,083,780	459,650	34,000	-
<u>COMMITTED SCHEMES - KEY DECISIONS</u>									
<i>Car Parks</i> Lower Beach Road Car Park - Enhancements (Funded from a WSCC contribution of £143,000, S106 receipts and capital receipts)									
	DM	632,000	469,590	-	62,410	100,000	-	-	-
<i>Lancing Manor Leisure Centre</i> Car Park Extension									
	DM	267,400	8,290	200,000	259,110	-	-	-	-
<i>Refuse/Recycling/Service</i> Replacement of 24 refuse/recycling vehicles (Partnership scheme with Worthing Borough Council. Total cost £4,358,110)									
	AN	1,483,950	-	1,454,350	1,483,950	-	-	-	-
		2,383,350	477,880	1,654,350	1,805,470	100,000	-	-	-
<u>FUTURE PROGRAMME</u>									
<i>Allotments</i> Rolling programme of replacements and improvements (Works to include pathways, old water pipes and fencing)									
	AE	33,600	-	-	-	-	-	16,800	16,800


**CABINET MEMBER FOR ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>FUTURE PROGRAMME (continued)</u>									
Grounds Maintenance Service									
Rolling programme of equipment replacements (Partnership scheme with Worthing Borough Council. Total cost £35,000 p.a.)	AE	28,000	-	-	-	-	-	14,000	14,000
Vehicle replacements (Partnership scheme with Worthing Borough Council. Total cost £28,000)	AN	22,400	-	-	-	-	-	11,200	11,200
Parks and Open Spaces									
Outdoor Fitness Equipment	AE	40,000	-	-	-	-	-	20,000	20,000
Play Area Improvements Rolling Programme of Improvements	AE	201,600	-	-	-	-	-	100,800	100,800
Public Conveniences									
Rolling programme of upgrades	DM	100,000	-	-	-	-	-	50,000	50,000
Refuse/Recycling Service									
Provision of wheeled bins (Partnership scheme with Worthing Borough Council. Total cost £50,000 p.a. Part funded from a revenue contribution)	TP	36,400	-	-	-	-	-	18,200	18,200
Street Cleansing / Refuse / Recycling									
Trade Waste Provisions for the replacement of vehicles for the joint services (Partnership scheme with Worthing Borough Council)	AN	362,020	-	-	-	-	-	181,010	181,010
Contingency: Inflation and Fluctuations		15,000	-	20,500	15,000	-	-	-	-
		839,020	-	20,500	15,000	-	-	412,010	412,010
TOTAL		6,045,980	505,600	3,047,670	3,038,930	1,183,780	459,650	446,010	412,010


**CABINET MEMBER FOR HEALTH AND WELLBEING
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
COMMITTED SCHEMES - £250,000 AND UNDER									
Equalities									
Disability Discrimination Act Improvements - Provision of minor alterations and improvements to Council properties	DM	25,760	-	16,800	25,760	-	-	-	-
Disability Discrimination Act Improvements - Extension of the coastal footpath linking the existing access points along the Shoreham Beach frontage to enable disabled access on to the beach (Phase 3 2017/2018 and 2018/2019 The Burrells to the old fort) (Phase 4 2019/2020 Ferry Road to the existing concrete path opposite 5 Beach Road)	DM	380,000	-	160,000	20,000	140,000	220,000	-	-
Disability Discrimination Act Improvements - Shoreham Centre provision of self levelling stair crawlers to enable the disabled or wheelchair users to be evacuated safely from the building	DM	22,000	-	22,000	22,000	-	-	-	-
Public Health									
Asbestos Removal - Provision for removal of asbestos from Council buildings	DM	55,740	840	19,000	21,300	16,800	16,800	-	-
		483,500	840	217,800	89,060	156,800	236,800	-	-


**CABINET MEMBER FOR HEALTH AND WELLBEING
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>FUTURE PROGRAMME</u>									
<i>Equalities</i> Disability Discrimination Act Improvements - Provision of minor alterations and improvements to Council properties	DM	-	-	-	-	-	-	-	-
<i>Public Health</i> Asbestos Removal - Provision for removal of asbestos from Council buildings	DM	33,600	-	-	-	-	-	16,800	16,800
<i>Contingency: Inflation and Fluctuations</i>		2,000	-	2,000	2,000	-	-	-	-
		35,600	-	2,000	2,000	-	-	16,800	16,800
TOTAL		519,100	840	219,800	91,060	156,800	236,800	16,800	16,800


**CABINET MEMBER FOR REGENERATION
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
<u>COMMITTED SCHEMES - £250,000 AND UNDER</u>									
<i>Coast Protection Works</i>									
Adur Beach Management Plan - Preliminary Study for the Rivers Arun to Adur to advise works required over the next 4 years (Contribution of £40,000 from Worthing Borough Council)	DM	114,210	89,230	-	24,980	-	-	-	-
Strategic Monitoring Project for the South East Phase 4. Contribution to the partnership scheme between Maritime Authorities (Funded by the Environment Agency)	DM	75,000	-	12,500	12,500	12,500	12,500	12,500	25,000
<i>Cultural Projects</i>									
Shoreham Air Crash Memorial Project - Creation of a fitting and lasting memorial to the eleven men who lost their lives as a result of the tragic incident at Shoreham Airshow in August 2015 (Funded from donations and ring fenced capital receipts)	LS	180,000	13,500	-	35,000	131,500	-	-	-
<i>Foreshore</i>									
Kingston Beach - Environmental improvements	AE	20,000	2,000	-	-	-	18,000	-	-


**CABINET MEMBER FOR REGENERATION
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
<u>COMMITTED SCHEMES - £250,000 AND UNDER</u>									
<u>(continued)</u>									
<i>Economic Development</i>									
Ferry Road Environmental Improvements (To include paving improvements, street furniture, cycle racks and landscaping. Funded by £90,000 Planning Delivery Grant, £42,500 Shoreham Harbour Growth Point Grant and £10,000 Council Resources)	JA	136,000	112,010	-	23,990	-	-	-	-
<i>Land Drainage</i>									
Realignment of the ditch and stabilisation of banks in the vicinity of Larkfield playing field, Lancing	DM	22,400	-	-	-	-	22,400	-	-
		547,610	216,740	12,500	96,470	144,000	52,900	12,500	25,000
<u>COMMITTED SCHEMES - KEY DECISIONS</u>									
<i>Brighton and Hove 3G Pitch</i>									
Contribution to the Sir Robert Woodward Academy for the construction of a 3G Pitch (Funded from S106 Receipts)	JA	630,000	-	-	630,000	-	-	-	-
<i>Coast Protection Works</i>									
Shoreham Harbour Walls Project (Funded from the Governments Growth Deal and the Environment Agency)	DM	4,113,000	18,090	2,863,000	2,966,910	-	1,128,000	-	-
<i>Shoreham Harbour Projects</i>									
(Approved by the Shoreham Harbour Project Board and funded from Shoreham Harbour Growth Point Grant)	CJ	310,270	-	75,000	30,000	55,000	-	225,270	-


**CABINET MEMBER FOR REGENERATION
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
<u>COMMITTED SCHEMES - KEY DECISIONS</u> <u>(continued)</u>									
<i>Economic Development</i>									
Adur Civic Centre - Demolition	ED	783,090	517,460	500,000	265,630	-	-	-	-
Adur Civic Centre Redevelopment - Phase 1 Construction of a new office building on the Civic Centre Car Park	ED	10,600,000	-	-	1,200,000	8,200,000	1,200,000	-	-
Adur Civic Centre Redevelopment - Phase 2 Construction of a new office building on the former Adur Civic Centre site	ED	316,910	-	-	316,910	-	-	-	-
<i>Strategic Property Investment</i>									
Investments in commercial property to generate income	SG	125,000,000	-	10,000,000	25,000,000	25,000,000	25,000,000	25,000,000	25,000,000
		141,753,270	535,550	13,438,000	30,409,450	33,255,000	27,328,000	25,225,270	25,000,000
TOTAL		142,300,880	752,290	13,450,500	30,505,920	33,399,000	27,380,900	25,237,770	25,025,000


**CABINET MEMBER FOR RESOURCES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2016 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
<u>COMMITTED SCHEMES - £250,000 AND UNDER</u>									
<i>Corporate Buildings</i>									
Commerce Way - Replacement of external CCTV	DM	28,000	-	-	-	28,000	-	-	-
* Condition Surveys (To provide an assessment of the current condition of the Council's corporate buildings to inform a programme of planned maintenance works)	DM	27,800	-	-	11,000	16,800	-	-	-
Rolling programme of installation of solar panels and other energy efficiency measures	JM	355,000	-	-	-	205,000	150,000	-	-
<i>Office Equipment</i>									
Microphone system replacement	SS	14,100	-	-	-	-	-	14,100	-
<i>Information and Communications Technology</i>									
Corporate Asset Management System	PT	59,000	4,520	17,700	54,480	-	-	-	-
Corporate ICT hardware and infrastructure replacement programme (Partnership scheme with Worthing Borough Council. Total cost £544,620)	JJ	251,750	-	47,000	56,700	94,000	101,050	-	-
Digital Strategy - General Provision (Partnership scheme with Worthing Borough Council. Total cost £844,820 to facilitate delivery of the digital strategy)	JJ	401,770	-	105,750	190,270	105,750	105,750	-	-


**CABINET MEMBER FOR RESOURCES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2016 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
<u>COMMITTED SCHEMES - £250,000 AND UNDER (continued)</u>									
Digital Strategy - Matsoft Licences (Partnership scheme with Worthing Borough Council. Total cost £75,000)	JJ	35,250	-	-	-	35,250	-	-	-
Payroll System - Replacement (Partnership scheme with Worthing Borough Council. Total cost £175,000)	SG	82,250	-	-	-	82,250	-	-	-
		1,254,920	4,520	170,450	312,450	567,050	356,800	14,100	-
<u>COMMITTED SCHEMES - KEY DECISIONS</u>									
Information and Communications Technology Financial Management System Replacement (Partnership scheme with Worthing Borough Council. Total cost £565,000)	SG	265,550	81,310	77,550	184,240	-	-	-	-
		265,550	81,310	77,550	184,240	-	-	-	-


**CABINET MEMBER FOR RESOURCES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 ADUR DISTRICT COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2016 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)	(11)
<u>FUTURE PROGRAMME</u>									
<i>Corporate Buildings</i>									
Rolling programme of installation of solar panels and other energy efficiency measures	JM	300,000	-	-	-	-	-	150,000	150,000
<i>Information and Communications Technology</i>									
Corporate hardware and infrastructure replacement programme (Partnership scheme with Worthing Borough Council. Total cost £65,000 p.a.)	JJ	61,100	-	-	-	-	-	30,550	30,550
Digital Strategy General Provision (Partnership scheme with Worthing Borough Council. Total cost £450,000 to facilitate delivery of the digital strategy)	JJ	211,500	-	-	-	-	-	105,750	105,750
<i>Contingency: Inflation and Fluctuations</i>		152,270	-	2,000	57,000	25,000	20,270	25,000	25,000
		724,870	-	2,000	57,000	25,000	20,270	311,300	311,300
TOTAL		2,245,340	85,830	250,000	553,690	592,050	377,070	325,400	311,300


**SUMMARY
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL	Total Estimate £	CAPITAL ESTIMATES						
		Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
			Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)
BUDGETS								
Executive Member for Customer Services	19,269,830	131,960	3,411,000	2,427,540	4,816,500	4,053,830	3,920,000	3,920,000
Executive Member for Environment	14,101,900	655,310	6,355,110	6,580,430	3,498,840	2,169,940	598,690	598,690
Executive Member for Health and Wellbeing	392,960	18,290	199,800	91,470	160,000	56,000	33,600	33,600
Executive Member for Regeneration	135,603,890	55,520	13,909,720	34,656,990	25,396,120	25,442,760	25,017,500	25,035,000
Executive Member for Resources	13,187,550	117,420	5,402,000	11,175,780	693,350	497,700	359,600	343,700
	182,556,130	978,500	29,277,630	54,932,210	34,564,810	32,220,230	29,929,390	29,930,990
FINANCING								
Capital Grants and Contributions								
Communities and Local Government			650,000	4,027,920	750,000	750,000	750,000	750,000
Environment Agency			17,500	34,490	17,500	17,500	17,500	35,000
S106 Contributions from Planning Agreements			273,400	452,790	390,070	20,000	-	-
Other Contributions			-	-	200,000	918,300	-	-
Prudential Borrowing			27,594,900	44,049,760	32,815,820	29,304,150	27,962,810	27,787,660
Revenue Contributions and Reserves								
Revenue Contributions			139,080	272,440	149,080	160,280	149,080	308,330
Revenue Reserves			93,500	182,410	50,000	50,000	50,000	50,000
Usable Capital Receipts								
General			509,250	5,912,400	192,340	1,000,000	1,000,000	1,000,000
			29,277,630	54,932,210	34,564,810	32,220,230	29,929,390	29,930,990


**SUMMARY
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL	CAPITAL ESTIMATES					
	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
	Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)
<u>DETAILED FUNDING</u>						
<i>Capital Grants and Contributions</i>						
<u>Communities and Local Government</u>						
Better Care Fund (Disabled Facilities Grants)	650,000	927,920	750,000	750,000	750,000	750,000
Local Growth Fund (Acquisition of development land)	-	3,100,000	-	-	-	-
	650,000	4,027,920	750,000	750,000	750,000	750,000
<u>Environment Agency</u>						
Coast Protection Grant (Rivers Arun to Adur Beach Management Plan - Preliminary Study)	-	16,990	-	-	-	-
(Contribution to the Strategic Monitoring Project for the South East Phase 4)	17,500	17,500	17,500	17,500	17,500	35,000
	17,500	34,490	17,500	17,500	17,500	35,000
<u>S106 Contributions from Planning Agreements</u>						
(Affordable Housing - Unallocated provision)	-	325,000	-	-	-	-
(Contribution to WSCC Scheme - South Street Surfacing Improvements)	-	-	4,400	-	-	-
(Highdown Gardens - Infrastructure Improvements)	-	-	100,000	-	-	-
(Homefield Park - Refurbishment of Tennis Courts)	139,000	49,220	94,870	-	-	-
Outdoor Fitness Equipment - The Gallops Open Space, Findon	22,400	22,400	-	-	-	-
- Tarring Recreation Ground	-	-	20,000	-	-	-
- West Park	-	-	-	20,000	-	-
- Windsor Lawns	28,000	28,000	-	-	-	-
Play Area Improvements - Hill Barn/Rotary Recreation Ground	-	14,170	-	-	-	-
- Palatine Park	-	-	100,800	-	-	-
- West Park	84,000	14,000	70,000	-	-	-
	273,400	452,790	390,070	20,000	-	-


**SUMMARY
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL	CAPITAL ESTIMATES					
	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
	Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)
DETAILED FUNDING (continued)						
<u>Other Contributions</u>						
Chapman Group (Highdown Gardens - Resurfacing of vehicular access)	-	-	-	18,300	-	-
Heritage Lottery (Highdown Gardens - Infrastructure Improvements)	-	-	-	900,000	-	-
Lawn Tennis Association (Field Place - Tennis Courts surfacing and drainage works)	-	-	200,000	-	-	-
	-	-	200,000	918,300	-	-
Prudential Borrowing						
<u>Invest to Save Schemes</u>						
(Acquisition of development land)	-	700,000	-	-	-	-
(Building construction - new wellbeing and health hub)	-	282,000	-	-	-	-
(General Provision)	-	-	-	74,500	-	-
(Buckingham Road and High Street MSCPs - Installation of LED lighting)	-	172,000	-	-	-	-
(Property Acquisition - Acquisition of emergency or temporary accommodation for the homeless)	1,800,000	-	3,800,000	2,000,000	2,000,000	2,000,000
(Purchase and installation of new beach huts)	34,220	34,220	-	-	-	-
(Solar renewable energy projects and other environmental improvements)	-	97,500	262,000	150,000	150,000	150,000
(Strategic Property Investment Fund for investments in commercial property)	13,500,000	30,342,750	25,000,000	25,000,000	25,000,000	25,000,000
(Worthing Theatres - Capital Investment)	32,000	32,510	-	-	-	-
<u>General Fund Schemes</u>						
(Loans - Worthing Homes Limited to finance social housing)	5,000,000	10,000,000	-	-	-	-
(Other Schemes)	7,228,680	2,388,780	3,753,820	2,079,650	812,810	637,660
	27,594,900	44,049,760	32,815,820	29,304,150	27,962,810	27,787,660


**SUMMARY
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL	CAPITAL ESTIMATES					
	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
	Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)
<u>DETAILED FUNDING (continued)</u>						
<i>Revenue Contributions and Reserves</i>						
<i>Revenue Contributions</i>						
AWCS Refuse/Recycling Service (Provision of wheeled bins)	19,080	19,080	19,080	19,080	19,080	19,080
Corporate Sponsorship (Worthing Theatres - Capital improvements)	10,000	-	-	11,200	-	-
Crematorium Trading Account (Crematorium Improvement Scheme repaid from additional income estimated at the rate of £80,000 p.a. over the next 7 years)	60,000	80,000	80,000	80,000	80,000	239,250
New Homes Bonus (Empty Properties - Grants and loans to bring empty properties back into use)	50,000	173,360	50,000	50,000	50,000	50,000
	139,080	272,440	149,080	160,280	149,080	308,330
<i>Revenue Reserves</i>						
Capital Expenditure Reserve (Brooklands Lake - Environmental Improvements)	43,500	43,500	-	-	-	-
Insurance Reserve (Insurance Claim - Replacement of stolen mechanical excavator)	-	1,910	-	-	-	-
Museum Reserve (Museum and Art Gallery - Refurbishment)	-	77,000	-	-	-	-
Theatres Restoration Levy (Worthing Theatres - Capital improvements)	50,000	60,000	50,000	50,000	50,000	50,000
	93,500	182,410	50,000	50,000	50,000	50,000
<i>Usable Capital Receipts</i>						
Affordable Housing	368,900	783,900	50,000	1,000,000	1,000,000	1,000,000
Non Ring-Fenced	-	5,128,500	-	-	-	-
Ring-Fenced (EON Windfarm - Brooklands Park replacement of Par 3 Club House)	140,350	-	142,340	-	-	-
	509,250	5,912,400	192,340	1,000,000	1,000,000	1,000,000


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
COMMITTED SCHEMES - UNDER £250,000									
Assembly Hall									
* Renewal of dance floor	DM	33,600	-	33,600	33,600	-	-	-	-
Connaught Theatre									
Main auditorium - installation of a ventilation system	DM	66,080	-	-	-	-	66,080	-	-
Refurbishment of back stage toilet	DM	15,680	-	-	15,680	-	-	-	-
Refurbishment of public toilets (£50,000 funded from Theatres Restoration Levy)	DM	92,000	-	-	-	92,000	-	-	-
Housing									
Empty property grants and loans to bring empty properties back into use (Funded from additional 'New Homes Bonus' based on number of properties brought back into use)	BR	273,360	-	50,000	173,360	50,000	50,000	-	-
Housing Renewal Assistance									
<u>Discretionary Grants</u>									
Home Repair Assistance Grants	BR	255,570	-	90,000	115,570	70,000	70,000	-	-
<u>Mandatory Grants</u>									
Disabled Facilities Grants (Funded by DCLG Better Care Fund)	BR	2,427,920	-	750,000	927,920	750,000	750,000	-	-
Museum and Art Gallery									
Conversion of ground floor area vacated by Tourist Information Centre into useable accommodation/exhibition space	DM	104,500	1,000	26,500	77,000	26,500	-	-	-


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - UNDER £250,000</u>									
<u>(continued)</u>									
<i>Museum and Art Gallery (Continued)</i> Replacement of 3 display cases and purchase of 3 additional display cases	AO	32,400	-	-	-	-	32,400	-	-
<i>Richmond Room</i> * Replacement of high level felted roof covering	DM	28,000	-	-	-	28,000	-	-	-
<i>Pavilion Theatre</i> Replacement of auditorium seating (£25,000 funded from the Theatres Restoration Levy, and £8,000 funded from Corporate Sponsorship)	AO	52,350	-	-	-	-	52,350	-	-
<i>Ritz Cinema (Connaught Studio)</i> Installation of air conditioning	AO	33,000	-	-	-	-	33,000	-	-
<i>Theatres</i> Capital improvements to Worthing Theatres (Funded from the Theatres Restoration Levy and Invest to Save Initiatives)	AO	223,470	130,960	92,000	92,510	-	-	-	-
		3,637,930	131,960	1,042,100	1,435,640	1,016,500	1,053,830	-	-


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - KEY DECISIONS</u>									
Affordable Housing Grants to Registered Social Landlords for the provision of affordable housing (Funded by Right to Buy Clawback Receipts, Housing Capital Receipts and S106 Receipts)	CA	1,991,900	-	568,900	991,900	-	1,000,000	-	-
Property Acquisition Acquisition of emergency interim or temporary accommodation for the homeless (Invest to Save Scheme)	CA	5,800,000	-	1,800,000	-	3,800,000	2,000,000	-	-
		7,791,900	-	2,368,900	991,900	3,800,000	3,000,000	-	-
<u>FUTURE PROGRAMME</u>									
Affordable Housing Grants to Registered Social Landlords for the provision of affordable housing (Funded by Right to Buy Clawback Receipts and Housing Capital Receipts)	CA	2,000,000	-	-	-	-	-	1,000,000	1,000,000
Housing Empty property grants and loans to bring empty properties back into use (Funded from additional 'New Homes Bonus' based on number of properties brought back into use, and repayments of grants and loans)	BR	100,000	-	-	-	-	-	50,000	50,000


**CABINET MEMBER FOR CUSTOMER SERVICES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>FUTURE PROGRAMME (continued)</u>									
<i>Housing Renewal Assistance</i>									
<u>Discretionary Grants</u>									
Home Repair Assistance Grants	BR	140,000	-	-	-	-	-	70,000	70,000
<u>Mandatory Grants</u>									
Disabled Facilities Grants (Funded by DCLG Better Care Fund)	BR	1,500,000	-	-	-	-	-	750,000	750,000
<i>Property Acquisition</i>									
Acquisition of emergency interim or temporary accommodation for the homeless (Invest to Save Scheme)	CA	4,000,000	-	-	-	-	-	2,000,000	2,000,000
<i>Theatres</i>									
Capital improvements to Worthing Theatres (Funded from the Theatres Restoration Levy, Invest to Save Initiatives and Corporate Sponsorship)	AO	100,000	-	-	-	-	-	50,000	50,000
		7,840,000	-	-	-	-	-	3,920,000	3,920,000
TOTAL		19,269,830	131,960	3,411,000	2,427,540	4,816,500	4,053,830	3,920,000	3,920,000


**CABINET MEMBER FOR THE ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
COMMITTED SCHEMES - UNDER £250,000									
Allotments									
Rolling programme of improvements to pipes, paths and fencing which are outside the scope of the self-management agreement and which remain the Council's responsibility	AE	33,600	-	-	-	16,800	16,800	-	-
Beach House Park									
* New Pavilion - Renew electrical mains and rewiring, and provision of changing rooms for the Bowls Club	DM	50,320	50,320	-	-	-	-	-	-
* Palm Court Café - Replacement of doors and windows	DM	39,200	-	-	-	39,200	-	-	-
Boundary Signs									
Replacement of existing boundary signs on main entry routes into Worthing and additional signs on the A27	LD	42,000	-	-	42,000	-	-	-	-
Brooklands Park									
Replacement of Par 3 Club House (Part funded from ring-fenced capital receipts)	AE	225,000	-	223,000	-	225,000	-	-	-
Cemeteries									
Replacement of a stolen mechanical excavator (Part funded from insurance claim)	AE	9,900	-	-	9,900	-	-	-	-
Car Parks									
Multi Storey Car Parks - Renewal of CCTV	DM	99,000	15,890	-	83,110	-	-	-	-


**CABINET MEMBER FOR THE ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - UNDER £250,000</u> <u>(continued)</u>									
<i>Car Parks (Continued)</i>									
Multi Storey Car Parks - Installation of energy efficient LED lighting at Buckingham Road and High Street MSCPs (Invest to Save Scheme)	DM	172,000	-	-	172,000	-	-	-	-
<i>Compliance Service</i>									
Replacement of one vehicle (Partnership scheme with Adur District Council. Total cost £13,000)	AN	7,800	-	-	7,800	-	-	-	-
<i>Crematorium</i>									
Driveway works:	DM	368,070	127,110	57,800	240,960	-	-	-	-
i) Upgrade of ICT connection									
ii) Repair of gas main									
* iii) Driveway resurface									
Improvement Works Phase 1:	AE	192,930	-	192,930	5,750	187,180	-	-	-
i) Redevelopment of the main office									
ii) DDA access improvements to exterior public toilets									
iii) A new showroom for memorialisation									
iv) DDA access improvements to the children's' garden									
v) Air conditioning to main chapel									


**CABINET MEMBER FOR THE ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
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Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - UNDER £250,000</u> <u>(continued)</u>									
<i>Crematorium (Continued)</i>									
Improvement Works Phase 2:									
i) Provision of a walkway above the cremators to enable maintenance									
ii) New consistent signage with the new corporate logo									
iii) Muntham Chapel and Music Room air conditioning									
iv) Provision of ventilation to the building									
Music and Entertainment System - Upgrade	AE	172,000	-	-	-	60,000	112,000	-	-
* Replacement and resiting of car park attendant's kiosk	DM	19,800	-	19,800	19,800	-	-	-	-
<i>Dog Warden Service</i>									
Replacement of 1 vehicle (Partnership scheme with Adur District Council. Total cost £25,000)									
	AN	12,500	-	-	-	12,500	-	-	-
<i>Field Place</i>									
* Replace the surface of the existing tennis courts and correct the drainage problems (Funded by the Lawn Tennis Association)									
	DM	200,000	-	-	-	200,000	-	-	-
<i>Grounds Maintenance</i>									
Replacement of 11 vehicles (Partnership scheme with Adur District Council. Total cost £408,900)									
	AN	245,400	-	65,100	75,600	79,200	90,600	-	-


**CABINET MEMBER FOR THE ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - UNDER £250,000</u> <u>(continued)</u>									
Grounds Maintenance Service Rolling programme of equipment replacements (Partnership scheme with Adur District Council. Total cost £35,000 p.a.)	AE	42,000	-	-	-	21,000	21,000	-	-
Highdown Gardens Infrastructure improvements to include: i) Conversion of the bungalow to a visitor centre ii) Improved staff facilities iii) Improvements to gardens (Funded from £100,000 S106 receipts and a Heritage Lottery Grant)	AE	1,000,000	-	-	-	100,000	900,000	-	-
* Resurfacing of vehicular access (Contribution of £18,300 from the Chapman Group)	DM	55,000	-	-	-	-	55,000	-	-
Homefield Park Refurbishment of tennis courts (£150,000 funded from S106 receipts)	AE	255,130	5,910	194,520	49,220	200,000	-	-	-
Outdoor Fitness Equipment The Gallops (Funded from S106 Receipts)	AE	22,400	-	22,400	22,400	-	-	-	-
Tarring Recreation Ground (Funded from S106 Receipts)	AE	20,000	-	-	-	20,000	-	-	-
West Park (Funded from S106 Receipts)	AE	20,000	-	-	-	-	20,000	-	-


**CABINET MEMBER FOR THE ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - UNDER £250,000</u>									
<u>(continued)</u>									
<i>Outdoor Fitness Equipment (continued)</i>									
Windsor Lawns (Funded from S106 Receipts)	AE	28,000	-	28,000	28,000	-	-	-	-
<i>Parks and Open Spaces</i>									
* Manor Sports Ground Fencing renewal	DM	55,000	-	55,000	55,000	-	-	-	-
* Pond Lane Recreation Ground Pavilion - Renewal of roof covering	DM	15,500	15,500	-	-	-	-	-	-
<i>Play Area Improvements</i>									
Hill Barn/Rotary Recreation Ground (£20,000 funded from S106 receipts)	AE	82,500	5,830	60,000	76,670	-	-	-	-
Palatine Park (Funded from S106 receipts)	AE	-	-	-	-	100,800	-	-	-
Pennycross and Northbrook Recreation Ground	AE	-	-	-	-	-	118,130	-	-
West Park Recreation Ground (Funded from S106 receipts)	AE	84,000	-	84,000	14,000	70,000	-	-	-
<i>Public Conveniences</i>									
Broadwater Green Pavilion - Refurbishment	DM	89,600	-	-	-	-	89,600	-	-
Church House Ground Pavilion - Relocation and refurbishment	DM	150,000	-	-	-	-	150,000	-	-


**CABINET MEMBER FOR THE ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
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				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - UNDER £250,000</u> <u>(continued)</u>									
<i>Public Conveniences (Continued)</i>									
Durrington Cemetery and Buckingham Road Car Park - Upgrade and improvement	DM	50,210	31,960	-	18,250	-	-	-	-
Rolling programme of upgrades and improvements	DM	-	-	-	-	100,000	100,000	-	-
<i>Refuse/Recycling Service</i>									
Provision of wheeled bins (Partnership scheme with Adur District Council. Total cost £50,000 p.a. Part funded from a revenue contribution of £19,080)	TP	95,400	-	31,800	31,800	31,800	31,800	-	-
<i>Street Cleansing / Clinical Waste / Refuse Recycling</i>									
Procurement of 2 new refuse / recycling vehicles required for a new collection round due to the increase in new build properties in both the Adur District and Worthing Borough (Partnership scheme with Adur District Council. Total cost £352,000)	AN	223,870	-	-	-	223,870	-	-	-
Replacement of 17 vehicles (Partnership scheme with Adur District Council. Total cost £1,116,800)	AN	682,140	-	151,320	104,840	373,250	204,050	-	-
<i>Street Lighting</i>									
Enhancements in Conservation Areas or near Heritage Sites (Upgrade of WSCC street lighting)	DM	30,000	-	-	30,000	-	-	-	-


**CABINET MEMBER FOR THE ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

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Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
COMMITTED SCHEMES - UNDER £250,000 (continued)									
<i>Worthing Leisure Centre</i>									
* Main hall floor replacement (Contribution of £82,000 from South Downs Leisure Trust)	DM	165,460	126,110	-	39,350	-	-	-	-
* Refurbishment of athletics track	DM	150,000	-	-	50,000	100,000	-	-	-
* Renewal of fire alarm system	DM	75,000	6,780	-	68,220	-	-	-	-
* Renewal of glazing in the nursery and café area	DM	48,500	8,690	-	39,810	-	-	-	-
* Replacement of service pipework	DM	235,080	160,960	-	74,120	-	-	-	-
		5,597,610	555,060	1,218,970	1,391,900	2,160,600	1,908,980	-	-
COMMITTED SCHEMES - KEY DECISIONS									
<i>Brooklands Park</i>									
Environmental Improvements (The removal of contaminated land silt from the water balancing facility known as Brooklands Lake, and associated planting in the area)	AE	850,000	-	850,000	800,000	50,000	-	-	-
<i>Car Parks</i>									
Lyndhurst Road (West) Surface Car Park - Increased parking	DM	275,000	5,680	35,000	269,320	-	-	-	-
* Multi Storey Car Parks - Planned structural repairs and improvement programme	DM	2,718,200	22,870	1,344,760	1,393,730	1,040,640	260,960	-	-


**CABINET MEMBER FOR THE ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

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			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - KEY DECISIONS</u> (continued)									
<i>Cemeteries</i>									
Durrington Cemetery - Extension of burial space	AE	369,300	71,700	300,000	50,000	247,600	-	-	-
<i>Refuse/Recycling Service</i>									
Replacement of 24 refuse/recycling vehicles (Partnership scheme with Adur District Council. Total cost £4,358,110)	AN	2,659,250	-	2,590,150	2,659,250	-	-	-	-
		6,871,750	100,250	5,119,910	5,172,300	1,338,240	260,960	-	-
<u>FUTURE PROGRAMME</u>									
<i>Allotments</i>									
* Rolling programme of improvements to pipes, paths and fencing which are outside the scope of the self-management agreement and which remain the Council's responsibility	AE	33,600	-	-	-	-	-	16,800	16,800
<i>Grounds Maintenance Service</i>									
Vehicle replacements (Partnership scheme with Adur District Council. Total cost £28,000)	AN	33,600	-	-	-	-	-	16,800	16,800
<i>Grounds Maintenance Service</i> Rolling programme of equipment replacements (Partnership scheme with Adur District Council. Total cost £35,000 p.a.)	AE	42,000	-	-	-	-	-	21,000	21,000


**CABINET MEMBER FOR THE ENVIRONMENT
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>FUTURE PROGRAMME (continued)</u>									
<i>Parks and Open Spaces</i>									
Outdoor Fitness Equipment Areas	AE	40,000	-	-	-	-	-	20,000	20,000
Play Area Improvements	AE	201,600	-	-	-	-	-	100,800	100,800
<i>Public Conveniences</i>									
Rolling programme of upgrades and improvements	DM	-	-	-	-	-	-	100,000	100,000
<i>Refuse/Recycling Service</i>									
Provision of wheeled bins (Partnership scheme with Adur District Council. Total cost £50,000 p.a.)	TP	63,600	-	-	-	-	-	31,800	31,800
<i>Refuse/Recycling/Street Cleansing/ Trade Waste</i>									
Provisions for the replacement of vehicles for the joint services (Partnership scheme with Adur District Council)	AN	582,980	-	-	-	-	-	291,490	291,490
<i>Contingency: Inflation and Fluctuations</i>		16,230	-	16,230	16,230	-	-	-	-
		1,013,610	-	16,230	16,230	-	-	598,690	598,690
TOTAL		13,482,970	655,310	6,355,110	6,580,430	3,498,840	2,169,940	598,690	598,690


**CABINET MEMBER FOR HEALTH AND WELLBEING
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Revised £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
COMMITTED SCHEMES - UNDER £250,000									
Equalities									
Disability Discrimination Act Improvements - Provision of minor alterations and improvements to Council properties	DM	80,790	-	30,000	41,590	-	39,200	-	-
Disability Discrimination Act Improvements - Provision of self levelling stair crawlers for the Town Hall to enable the disabled or wheelchair users to be evacuated safely from the building	DM	22,000	-	22,000	22,000	-	-	-	-
Public Health									
Asbestos removal from Council buildings	DM	221,970	18,290	146,800	26,880	160,000	16,800	-	-
		324,760	18,290	198,800	90,470	160,000	56,000	-	-
FUTURE PROGRAMME									
Equalities									
Disability Discrimination Act Improvements - Provision of minor alterations and improvements to Council properties	DM	33,600	-	-	-	-	-	16,800	16,800
Public Health									
Asbestos removal from Council buildings	DM	33,600	-	-	-	-	-	16,800	16,800
Contingency: Inflation and Fluctuations									
		1,000	-	1,000	1,000	-	-	-	-
		68,200	-	1,000	1,000	-	-	33,600	33,600
TOTAL		392,960	18,290	199,800	91,470	160,000	56,000	33,600	33,600


**CABINET MEMBER FOR REGENERATION
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
COMMITTED SCHEMES - UNDER £250,000									
Coast Protection									
Rivers Arun to Adur Beach Management Plan - Preliminary Study (Contribution to study by Adur District Council. Funded by the Environment Agency)	DM	40,000	23,010	-	16,990	-	-	-	-
Strategic Monitoring Project for the South East Phase 4. Contribution to the Maritime Authorities partnership scheme (Funded by the Environment Agency)	DM	105,000	-	17,500	17,500	17,500	17,500	17,500	35,000
Economic Development									
Fulbeck Avenue - Development of site to provide new homes	JA	167,000	-	-	117,000	50,000	-	-	-
Foreshore Management									
* Promenade - Resurfacing of areas between George V Avenue and pier	DM	17,480	11,620	-	5,860	-	-	-	-
Purchase and installation of new beach huts Phase 2 (Invest to Save Scheme)	DM	34,220	-	34,220	-	34,220	-	-	-
Windsor Lawns Beach Shelter - Refurbishment	GH	53,350	3,860	40,000	49,490	-	-	-	-
Regeneration									
Contribution to WSCC Scheme - South Street surfacing improvements (Total Cost £10,700. Funded from S106 receipts)	LD	4,400	-	-	-	4,400	-	-	-


**CABINET MEMBER FOR REGENERATION
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

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				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - UNDER £250,000</u>									
<u>(continued)</u>									
<i>Worthing Pier, Southern Pavilion and Seafront Amusements</i>									
* Fire safety compliance works									
	DM	752,260	12,600	317,000	24,400	290,000	425,260	-	-
		1,173,710	51,090	408,720	231,240	396,120	442,760	17,500	35,000
<u>COMMITTED SCHEMES - KEY DECISIONS</u>									
<i>Building Construction</i>									
<i>New wellbeing and health hub</i>									
<i>(Outline business and design)</i>									
	JA	282,000	-	-	282,000	-	-	-	-
<i>Strategic Property Investment</i>									
<i>Acquisition of development land</i>									
<i>(£3.1m funded from the Local Growth Fund)</i>									
	JA	3,800,000	-	-	3,800,000	-	-	-	-
<i>Investments in commercial property to generate income</i>									
	JA	130,347,180	4,430	13,500,000	30,342,750	25,000,000	25,000,000	25,000,000	25,000,000
<i>Contingency: Inflation and Fluctuations</i>									
		1,000	-	1,000	1,000	-	-	-	-
		134,430,180	4,430	13,501,000	34,425,750	25,000,000	25,000,000	25,000,000	25,000,000
TOTAL		135,603,890	55,520	13,909,720	34,656,990	25,396,120	25,442,760	25,017,500	25,035,000


**CABINET MEMBER FOR RESOURCES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

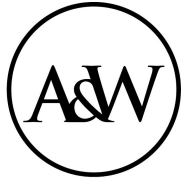
 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
COMMITTED SCHEMES - UNDER £250,000									
Corporate Buildings									
* Condition Surveys (To provide an assessment of the current condition of the Council's corporate buildings to inform a programme of planned maintenance works)	DM	121,600	10,200	60,000	77,800	33,600	-	-	-
Information and Communications Technology									
Corporate Asset Management System	PT	21,000	-	6,300	21,000	-	-	-	-
CenSus ICT Partnership (Residual payments outstanding from former partnership)	JJ	9,000	-	50,000	9,000	-	-	-	-
Corporate ICT hardware and infrastructure replacement programme (Partnership scheme with Adur District Council. Total cost £544,620)	JJ	288,650	-	53,000	68,700	106,000	113,950	-	-
Digital Strategy General Provision (Partnership scheme with Adur District Council. Total cost £844,820 to facilitate delivery of the digital strategy)	JJ	443,050	-	119,250	204,550	119,250	119,250	-	-
Digital Strategy - Matsoft Licences (Partnership scheme with Adur District Council. Total cost £75,000)	JJ	39,750	-	-	-	39,750	-	-	-
Payroll System - Replacement (Partnership scheme with Adur District Council. Total cost £175,000)	SG	92,750	-	-	-	92,750	-	-	-

**CABINET MEMBER FOR RESOURCES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>COMMITTED SCHEMES - UNDER £250,000</u> <u>(continued)</u>									
<i>Invest to Save Schemes</i>									
General Provision	SG	74,500	-	-	-	-	74,500	-	-
<i>Office Equipment</i>									
Microphone system - Replacement	SS	15,900	-	-	-	-	-	15,900	-
<i>Properties</i>									
* Meadow Road Industrial Units - Replacement roof lights	DM	25,000	-	25,000	25,000	-	-	-	-
		1,131,200	10,200	313,550	406,050	391,350	307,700	15,900	-
<u>COMMITTED SCHEMES - KEY DECISIONS</u>									
<i>Information and Communications Technology</i>									
Financial Management System Replacement (Partnership scheme with Adur District Council. Total cost £565,000)	SG	299,450	91,690	87,450	207,760	-	-	-	-
<i>Loans</i>									
Worthing Homes Limited (To finance social housing within the Borough of Worthing)	SG	10,000,000	-	5,000,000	10,000,000	-	-	-	-
<i>Properties</i>									
* Montague Street Site acquisition - Essential repairs	DM	250,000	6,530	-	243,470	-	-	-	-
Solar Renewable Energy Projects and other environmental improvements to corporate buildings (Invest to Save Schemes)	DM	518,500	9,000	-	97,500	262,000	150,000	-	-
		11,067,950	107,220	5,087,450	10,548,730	262,000	150,000	-	-

**CABINET MEMBER FOR RESOURCES
THREE YEAR CAPITAL INVESTMENT PROGRAMME**

 WORTHING BOROUGH COUNCIL Scheme	Lead Officer	Total Estimate £	CAPITAL ESTIMATES						
			Prior to 1.4.2017 £	2017/2018		2018/2019 Draft Estimate £	2019/2020 Draft Estimate £	2020/2021 Draft Estimate £	Future Years £
				Original £	Current £				
Column Reference (1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
<u>FUTURE PROGRAMME</u>									
<i>Information and Communications Technology</i> Corporate hardware and infrastructure replacement programme (Partnership scheme with Adur District Council. Total cost £65,000 p.a.)	JJ	68,900	-	-	-	-	-	34,450	34,450
Digital Strategy General Provision (Partnership scheme with Adur District Council. Total cost £450,000 to facilitate delivery of the digital strategy)	JJ	238,500	-	-	-	-	-	119,250	119,250
<i>Properties</i> Rolling programme of installation of solar panels and other energy efficiency measures	JM	300,000	-	-	-	-	-	150,000	150,000
<i>Contingency: Inflation and Fluctuations</i>		381,000	-	1,000	221,000	40,000	40,000	40,000	40,000
		988,400	-	1,000	221,000	40,000	40,000	343,700	343,700
TOTAL		13,187,550	117,420	5,402,000	11,175,780	693,350	497,700	359,600	343,700



Report to determine the local schemes for Business Rates Discretionary Relief

Report by the Director for Digital & Resources

Executive Summary

1. Purpose

1.1 The Joint Strategic Committee considered a report on 12th September 2017 that explained that:

- Some businesses have seen a fall in their Business Rates liabilities as the result of the revaluation of Rateable Values from 1 April 2017 whilst other businesses are subject to an increase in their bills
- The Government is providing local authorities with grant funding to minimise the impact of increases
- By way of a public consultation the Councils should seek to utilise this funding and develop appropriate criteria against which local discretionary schemes are implemented

1.2 This report provides the results from the public consultation and asks Members to recommend to the respective Full Councils the criteria that should be applied to enable the local discretionary schemes to be implemented in Adur and Worthing.

2. Recommendations

The Joint Strategic Committee is asked to:

- 1) Note the content of this report; and
- 2) Determine whether the criteria detailed in paragraphs 5.3 to 5.5 and paragraph 5.7 should form the basis of the recommendations to be made to the meetings of the Full Councils on 14 and 19 December 2017 in respect of the rules to be applied to the discretionary award schemes for Adur District Council and Worthing Borough Council respectively for 2017/18; and
- 3) Determine whether the criteria detailed in paragraphs 5.6 and 5.7 should form the basis of the recommendations to be made to the meetings of the Full Councils on 14 and 19 December 2017 in respect of the rules to be applied to the discretionary award schemes for Adur District Council and Worthing Borough Council respectively for 2018/19, 2019/20 and 2020/21.

3. Context

- 3.1 From 1 April 2017 the Rateable Values that form the basis of calculating Business Rates bills for all non-domestic properties were revalued by the Valuation Office Agency.
- 3.2 Whilst some ratepayers saw a reduction in the amount of Business Rates that are payable, others saw an increase and in the Spring Budget on 8 March 2017 the Chancellor announced three new reliefs to assist the latter
- A reduction of up to £1,000 per annum for pubs
 - Support for Small Businesses
 - Discretionary relief, to be determined by each local authority
- 3.3 In order to introduce these reliefs the Government has not amended legislation and instead they will be awarded by local authorities through use of their existing powers to grant discretionary assistance under Section 47 of the Local Government Finance Act 1988, as amended.
- 3.4 Local Authorities will be fully reimbursed for the loss of Business Rates income via grants under Section 31 of the Local Government Act 2003. In the first instance payment will be made by the Government to the billing authority which will then share monies with the major precepting authority - West Sussex County Council (WSSCC).
- 3.5 The reductions for pubs and small businesses were described in paragraphs 4.1.1 to 4.2.8 of the report considered by the Joint Strategic Committee on 12 September 2017 and for completeness are repeated in appendix one of this report.
- 3.6 The discretionary relief schemes require consultation with local ratepayers and WSSCC. This report contains the results from the consultation that was conducted from 19 September 2017 to 13 October 2017.

4. Issues for consideration

4.1 Discretionary relief

- 4.1.1 The Government has announced a national budget of £300m over four years from 1 April 2017 allocated as follows
- £175m in 2017/18
 - £85m in 2018/19
 - £35m in 2019/20
 - £5m in 2020/21
- 4.1.2 The amount of rate relief that was indicatively allocated to Adur and Worthing businesses was:

	<u>2017/18</u> <u>£'000</u>	<u>2018/19</u> <u>£'000</u>	<u>2019/20</u> <u>£'000</u>	<u>2020/21</u> <u>£'000</u>
Adur	115	56	23	3
Worthing	186	90	37	5

- 4.1.3 The indicative allocations were calculated by reference to the number of properties in each area (as shown in the draft Rating List that was published in September 2016) where bills were due to increase by more than 12.5% and the 2017 Rateable Value is less than £200,000.
- 4.1.4 Following a consultation between 9 March 2017 and 7 April 2017 (which the Councils responded to), on 28 April 2017 the Government wrote to local authorities with final grant allocations in respect of 2017/18. The Council will, of course, only be reimbursed for fifty percent of the value of any relief granted through the Business Rate Retention Scheme and the following allocations were confirmed
- Adur: £57,400
 - Worthing: £93,089
- 4.1.5 Although figures for the following three financial years have not yet been formally confirmed it appears likely that they will be similar to the indicative figures shown in the table in paragraph 4.3.2.
- 4.1.6 The criteria against which relief will be granted must be determined by the Councils and in the context that awards will be fully reimbursed by the Government it is appropriate to maximise use of the available budget.

4.2 State Aid

- 4.2.1 State Aid law is the means by which the European Union regulates state-funded support to businesses.
- 4.2.2 Applying a reduction to a Business Rates liability by way of relief for pubs, Support for Small Businesses or discretionary relief amounts to State Aid. However, an award will be compliant where it is provided in accordance with the De Minimis Regulations (1407/2013).
- 4.2.3 The De Minimis Regulations allow an “undertaking” (i.e. a business) to receive up to €200,000 in a rolling three-year period (consisting of the current financial year and the two previous financial years).
- 4.2.4 It is therefore unlikely that none of these three reliefs can be awarded to ratepayers that are liable for Business Rates in respect of multiple properties (e.g. national chains).

4.3 Analysis of increase in Business Rates liabilities

- 4.3.1 The summary results of an analysis of the Business Rates databases are shown in appendix two. Members should note that the analysis is not definitive since it is not possible to confirm the precise number of ratepayers who will not qualify for assistance due to the De Minimis State Aid rules. Consequently the possible options provided in paragraph 5.2 allow for an increased volume of successful awards.
- 4.3.2 The analysis suggests that the total number of ratepayers who have become subject to an increase in the annual net value of Business Rates payable in respect of 2017/18 and who appear likely to satisfy the De Minimis State Aid rules are
- Adur: 433 accounts with a total increase of £508,501
 - Worthing: 635 accounts with a total increase of £759,827
- 4.3.3 Appendices three, four and five provide an analysis of those accounts that appear likely to qualify for discretionary assistance based on the value of the annual increase, the percentage of the annual increase and the 2017 Rateable Value respectively.

- 4.3.4 It is suggested to Members that both from the perspective of ratepayers understanding the locally-determined schemes and the administration of awards, it is desirable to make the qualifying criteria as straightforward as possible.
- 4.3.5 The draft Rating List was published in September 2016 meaning that businesses considering moving into a property would have been able to establish the value of Business Rates that would become due. It is therefore recommended that awards of discretionary relief should only be considered if the ratepayer was liable to pay Business Rates at the address on or before 1 January 2017.
- 4.3.6 WSCC has fifty-eight Business Rates liabilities throughout Adur and Worthing and will undoubtedly have additional liabilities within the other five district and borough council areas (e.g. in respect of schools and other Council buildings). It would therefore seem likely that, due to the De Minimis State Aid Regulations, WSCC will not be able to benefit from awards of discretionary relief.
- 4.3.7 Nevertheless, via the county-wide Chief Finance Officer's Group, the County Council has requested that consideration should be given to awarding some discretionary relief to WSCC and officers have encouraged WSCC to submit a consultation response.

5. Engagement and Communication

- 5.1 Appendix six contains details of the twenty-nine responses to the public consultation that were received. The consultation was conducted from 19 September 2017 to 13 October 2017.
- 5.2 Members can choose to apply whatever qualifying criteria they consider to be appropriate for the local schemes. To achieve a straightforward scheme, a number of approaches could be adopted in order that the grant funding detailed in paragraph 4.1.4 is maximised to support businesses:

Option 1

Awarding equal reductions to each qualifying ratepayer up to a maximum of the annual rates that are payable for 2017/18

- a. In Adur this would enable a reduction for each eligible Rates bill of £265 (i.e. £115,000 divided by 433 ratepayers)
- b. In Worthing this would enable a reduction for each eligible Rates bill of £292 (i.e. £186,000 divided by 635 ratepayers)

Option 2

Comparing the available grant funding with the total increase in the value of rates that are payable during 2017/18 and reducing individual liabilities by the same percentage

- c. In Adur this would enable a reduction in the increased amount that's due to be paid of 22% (e.g. if the Rates bill for 2017/18 has increased by £100 a discretionary award of £22 would be made, whereas a bill that has increased by £1,000 would have a discretionary award of £220)
- d. In Worthing this would enable a reduction for each eligible Rates bill of 24% (e.g. if the Rates bill for 2017/18 has increased by £100 a discretionary award of £24 would be made, whereas a bill that has increased by £1,000 would have a discretionary award of £240)

Option 3

Applying the same principle detailed in option two above but not granting awards in respect of smaller (by value) annual increases which would increase the percentage relief to

	<u>Adur</u>	<u>Worthing</u>
Accounts subject to an increase of less than £100 are not awarded any discretionary relief	22.8%	24.6%
Accounts subject to an increase of less than £200 are not awarded any discretionary relief	23.2%	25.0%
Accounts subject to an increase of less than £300 are not awarded any discretionary relief	23.8%	25.4%
Accounts subject to an increase of less than £500 are not awarded any discretionary relief	24.8%	26.9%
Accounts subject to an increase of less than £1,000 are not awarded any discretionary relief	26.4%	28.5%

Option 4

Applying the same principle detailed in option two above but not granting awards in respect of

- a. Pubs (on the basis that qualifying pubs will receive relief of £1,000 detailed in paragraphs 4.1.1 to 4.1.4); and
- b. Properties with a Rateable Value of less than £15,000 (on the basis that that Small Business Rates Relief is likely to have been awarded as detailed in paragraphs 4.2.1 and 4.2.2); and
- c. Properties with a Rateable Value of more than £200,000 (on the basis that such properties have not been included in the calculation of the Government Grant)

Analysis suggests that

- In Adur there appear to be 180 ratepayers who would qualify for 32% relief
- In Worthing there appear to be 277 ratepayers who would qualify for 40% relief

If the principles for option 4 are adopted but qualifying pubs are not excluded from entitlement, the percentage relief available would be reduced from

- 32% to 30% for Adur
- 40% to 38% for Worthing

Option 5

Applying the same principle detailed in option four above but not granting awards in respect of smaller (by value) annual increases which would increase the percentage relief to

	<u>Adur</u>	<u>Worthing</u>
Accounts subject to an increase of less than £100 are not awarded any discretionary relief	32%	40% (no change)
Accounts subject to an increase of less than £200 are not awarded any discretionary relief	32%	40% (no change)
Accounts subject to an increase of less than £300 are not awarded any discretionary relief	32%	40% (no change)
Accounts subject to an increase of less than £500 are not awarded any discretionary relief	33%	42%
Accounts subject to an increase of less than £1,000 are not awarded any discretionary relief	35%	45%

If the principles for option 5 are adopted but qualifying pubs are not excluded from entitlement, the relief would be reduced by 1% in all instances for both Councils.

- 5.3 The responses to the public consultation support not awarding discretionary relief
- Where the Rateable Value of the property is £200,000 or more
 - In respect of pubs that have been awarded £1,000 relief in respect of 2017/18
 - The ratepayer has been awarded Small Business Rates Relief
 - Unless the ratepayer was liable for Business Rates at the same address on 1st January 2017
- 5.4 Additionally, the responses support awarding a fixed percentage of reduction irrespective of how much the rate payer's bill is, and re-calculating relief if the Rateable Value of the property changes or the rate payer vacates the address.
- 5.5 It is therefore suggested that adopting option 4 in paragraph 5.2 may be the most appropriate criteria for the Councils to adopt in respect of 2017/18, such that qualifying awards for 2017/18 will be
- A 32% reduction in the increase between the 2016/17 and 2017/18 bills in Adur
 - A 40% reduction in the increase between the 2016/17 and 2017/18 bills in Worthing
- if pubs are excluded from entitlement or
- A 30% reduction in the increase between the 2016/17 and 2017/18 bills in Adur
 - A 38% reduction in the increase between the 2016/17 and 2017/18 bills in Worthing
- if pubs are not excluded from entitlement.

- 5.6 Members should be mindful that total awards cannot exceed the total grant that is available each year. The annual grant figures for 2018/19, 2019/20 and 2020/21 are not yet known, and it is therefore suggested that in order that the schemes seek to maximise use of the available grants
1. The same qualifying criteria should be applied in respect of the schemes for these three financial years; and
 2. The percentage reductions for these three financial years should be determined annually by the respective Cabinet Members for Resources (based upon information provided by the Head of Revenues & Benefits following a further annual analysis)
- 5.7 For each financial year (from 2017/18 onwards) it is suggested that
- If the total grant available has already been awarded to ratepayers; and
 - A further application for relief is received from a ratepayer who would otherwise qualify for assistance
- then no relief should be awarded on the basis that the available budget has already been utilised.

6. Financial Implications

- 6.1 In March 2017, Central Government announced that it would make available a discretionary fund of £300 million over 4 years from 2017/18 to support those businesses that faced increases in their business rates as a result of the revaluation.
- 6.2 Each authority within England has been provided with a share of the £300 million fund to support local businesses. This is to be administered through billing authorities' discretionary relief powers under section 47 of the Local Government Finance Act 1988.
- 6.3 The funding is not provided equally over the four-year period but split as follows:

Year 1	Year 2	Year 3	Year 4
58%	28%	12%	2%

- 6.4 Councils will be compensated for any relief granted under section 31 of the Local Government Act 2003. However, a key criteria of this reimbursement will be that all Billing Authorities will consult with major precepting authorities when designing their scheme.
- 6.5 The Councils' allocation of the Government funding for discretionary relief for local businesses has been confirmed.

Amount of discretionary fund awarded (£000s) for business rate relief					
Council	2017-18 £'000	2018-19 £'000	2019-20 £'000	2020-21 £'000	Total
Adur	115	56	23	3	197
Worthing	186	90	37	5	318

- 6.6 Under the business rate retention scheme, the cost of any relief awarded is shared as follows
- Adur / Worthing Council 40%
 - West Sussex County Council 10%
 - HM Treasury 50%

The Councils will be fully reimbursed for the loss of any income via a grant (using a grant under section 31 of the Local Government Act 2003) up to a maximum of

- Adur £57,400
- Worthing £93,089

- 6.7 The funding is front loaded for 2017/18. Any unused funds at the year end will be returned to the Government.
- 6.8 In addition, each Council has received a small £12,000 one-off grant for the administrative and IT costs associated with introducing the new reliefs.

7. Legal Implications

- 7.1 The power to grant discretionary relief is set out in Section 47 Local Government Finance Act 1988 as amended by the Localism Act 2011. The legislation states the qualifying conditions as one or more of the following;

“(a)the ratepayer is a charity or trustees for a charity, and the hereditament is wholly or mainly used for charitable purposes (whether of that charity or of that and other charities);

(b)the hereditament is not an excepted hereditament, and all or part of it is occupied for the purposes of one or more institutions or other organisations none of which is established or conducted for profit and each of whose main objects are charitable or are otherwise philanthropic or religious or concerned with education, social welfare, science, literature or the fine arts;

(c)the hereditament is not an excepted hereditament, it is wholly or mainly used for purposes of recreation, and all or part of it is occupied for the purposes of a club, society or other organisation not established or conducted for profit”

Section 47 (1) (a) of the Act allows the billing authority concerned to determine the rules to be applied in applying the discretionary relief.

It is for billing authorities to design their own discretionary relief schemes and determine the eligibility of ratepayers for support. The scheme must clearly set out the criteria that ratepayers across the local authority area need to meet in order to qualify for discretionary relief and it is very important that billing authorities have readily understood guidelines for deciding whether or not to grant relief and for determining the amount of any relief given.

The Non-Domestic Rating (Discretionary Relief) Regulations 1989 requires charging authorities to give notice of the making or revocation of a decision to grant discretionary relief, and of the making or variation of a determination of the chargeable amount (or of the rules for calculating the chargeable amount) payable during any period when the charging authority has decided to grant relief.

Section 31 Local Government Act 2003 provides the discretion for a Minister of the Crown to pay a grant to local authorities towards expenditure incurred by it. These

grants are to be paid in an amount and manner for the person paying that grant to determine, and under such conditions as they may determine.

Background Papers

Local Government Finance Act 1988

Local Government Act 2003

Letter from the Department for Communities and Local Government dated 28 April 2017

Business Rates Information Letter (2/2017)

Business Rates Information Letter (4/2017)

De Minimis Regulations (1407/2013)

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Sustainability & Risk Assessment

1. Economic

Maximisation of the available grant funding for discretionary rate relief will support businesses throughout the area.

2. Social

2.1 Social Value

Matter considered and no issues identified.

2.2 Equality Issues

Matter considered and no issues identified.

2.3 Community Safety Issues (Section 17)

Matter considered and no issues identified.

2.4 Human Rights Issues

Matter considered and no issues identified.

3. Environmental

Matter considered and no issues identified.

4. Governance

Matter considered and no issues identified.

APPENDIX ONE - relief for pubs and Support for Small Businesses

Relief for pubs

The qualifying criteria in respect of relief for pubs are

- The pub must be occupied; and
- The property must have a rateable value of less than £100,000

The Government's stated policy intention is that eligible pubs must be open to the public, allow free entry (other than when occasional entertainment is provided), allow drinking without requiring food to be consumed, and permit drinks to be purchased at a bar. Consequently, certain types of business (including restaurants, cafes, nightclubs and hotels) are excluded.

The relief will only be awarded in respect of 2017/18 and work has been completed to identify and award, where appropriate, relief for qualifying ratepayers.

Support for Small Businesses

For 2016/17 most ratepayers with a Rateable Value of £6,000 or less were entitled to 100% Small Business Rates Relief (SBRR). Those with a Rateable Value of between £6,000 and £12,000 received tapered relief from 100% to 0%.

From 1 April 2017 the threshold for full relief was increased from £6,000 to £12,000 with the threshold for 0% tapered relief increased from £12,000 to £15,000. The Government's stated intention is that the amended thresholds will ensure that most ratepayers entitled to SBRR during 2016/17 will pay less or nothing as the result of the revaluation.

For 2016/17 sole post offices, general stores, pubs or petrol stations in rural settlements (with populations of less than three thousand) were entitled to 50% rate relief where

- A post office or general store has a Rateable Value of less than £8,500
- A pub or petrol station has a Rateable Value of less than £12,500

This is known as Rural Rate Relief (RRR) and the reduction increased to 100% from 1 April 2017. There are no properties benefiting from this relief in either Adur or Worthing.

In order to qualify for the new "Support for Small Businesses" relief from 1 April 2017 a ratepayer must be losing some (or all) of their SBRR or RRR and as a result be facing a large increase in their bill.

By granting additional support, the increase in the amount payable by the ratepayer will be limited to the greater of

- An increase (in comparison to the rates bill for 2016/17 after SBRR/RRR was granted) of 5% in 2017/18, 7.5% in 2018/19, 10% in 2019/20, 15% in 2020/21 and 15% in 2021/22; or
- A cash value of £600 per year

This means that ratepayers losing some or all of their SBRR/RRR will see the increase in their 2017/18 bill capped at £600. Additionally, the cash minimum value increase will be £600 per year thereafter which means that ratepayers entitled to assistance under this scheme will be paying £3,000 more in 2021/22.

The Department for Communities and Local Government has indicated that it anticipates that the number of ratepayers awarded "Support for Small Businesses" is likely to be small.

Additional software functionality is due to be installed to enable qualifying ratepayers to be identified and "Support for Small Businesses" relief to be awarded.

APPENDIX TWO - database summary analysis

		<u>Adur</u> <u>(number)</u>	<u>Adur</u> <u>(value)</u>	<u>Worthing</u> <u>(number)</u>	<u>Worthing</u> <u>(value)</u>
1.	Number of properties	2,144	N/A	3,176	N/A
2.	Number of properties with £nil to pay in 2016/17 and £nil to pay in 2017/18	872	N/A	1,029	N/A
3.	Ratepayers with £nil to pay in 2016/17 but something to pay in 2017/18	24	£53,203	22	£60,673
4.	Number of ratepayers included in 3 above that potentially appear to satisfy the De Minimis rules	22	£50,122	21	£55,975
5.	Number of ratepayers with something to pay in 2016/17 but nothing to pay in 2017/18	243	N/A	434	N/A
6.	Number of ratepayers with something to pay in 2016/17 and an increased amount to pay in 2017/18	595	£1.170m extra	925	£1.606m extra
7.	Number of ratepayers included in 6 above who are individuals (rather than companies)	100	£84.0k	136	£103.6k
8.	Number of ratepayers included in 6 above who are companies (rather than individuals)	495	£1.086m	789	£1.503m
9.	Number of ratepayers included in 8 above who would appear to satisfy the State Aid rules	311	£374.4k	478	£600.2k
10.	Total accounts that appear to potentially qualify for discretionary assistance (lines 4, 7 and 9)	433	£508.5k	635	£759.8k

APPENDIX THREE - analysis by property description

Adur

<u>Property description</u>	<u>Increased bill (no. of properties)</u>	<u>Net value increase £'000</u>	<u>Decreased bill or no change (no. of properties)</u>	<u>Net value decrease £'000</u>
Advertising right	7	0.3	36	-2.9
Automatic Teller Machine (ATM)	1	0.03	7	-0.8
Bank and premises	7	7.7	2	-0.8
Beach hut	2	0.3	471	-0.8
Car park or parking space	8	2.5	13	-2.4
Car showroom	5	35.6	0	0
Club and premises or clubhouse	12	3.7	13	-10.7
Communication station	15	2.6	15	-14.4
Day nursery and premises	3	2.9	3	-0.2
Factory and premises	8	32.9	27	-33.5
Guesthouse or hotel	0	0	1	0
Hospital	1	29.7	0	0
Offices	128	67.3	129	-32.8
Public House	13	36.2	17	-31.3
Restaurant and premises	11	13.0	5	-7.8
School and premises	16	53.7	3	-18.2
Shop and premises	146	130.9	287	-164.1
Store and premises	8	2.3	62	-8.8

Supermarket or Superstore	1	2.8	3	-84.4
Surgery and premises	11	20.7	14	-9.4
Warehouse and premises	46	149.4	111	-131.6
Workshop and premises	50	124.5	171	-110.9
Other	119	503.3	135	-149.3

APPENDIX THREE - analysis by property description

Worthing

<u>Property description</u>	<u>Increased bill (no. of properties)</u>	<u>Net value increase £'000</u>	<u>Decreased bill or no change (no. of properties)</u>	<u>Net value decrease £'000</u>
Advertising right	19	0.2	53	-1.5
Automatic Teller Machine (ATM)	2	0.1	27	-4.7
Bank and premises	11	7.9	7	-19.0
Beach hut	27	4.6	287	-0.5
Car park or parking space	32	32.0	42	-6.3
Car showroom	7	69.7	7	-9.6
Club and premises or clubhouse	11	3.7	17	-14.4
Communication station	34	7.6	7	-8.9
Day nursery and premises	19	30.7	5	0.0
Factory and premises	23	54.3	28	-66.9
Guesthouse or hotel	11	56.4	9	-1.4
Hospital or hospice	3	129.9	2	-4.1
Offices	125	124.4	334	-202.7
Public House	21	67.9	28	-65.1
Restaurant and premises	18	25.7	20	-51.1
School/college and premises	29	165.6	8	-15.8
Shop and premises	289	302.0	904	-976.5
Store and premises	31	3.8	49	-7.8
Supermarket or Superstore	1	9.0	4	-79.4

Surgery and premises	20	23.3	26	-26.0
Warehouse and premises	47	51.4	70	-57.1
Workshop and premises	42	43.9	146	-82.1
Other	126	452.6	148	-287.0

APPENDIX THREE - ratepayers who appear likely to potentially qualify for discretionary assistance (analysis by value increase)

<u>Value increase compared to 2016/17</u>	<u>Adur (number)</u>	<u>Adur (value) £'000</u>	<u>Worthing (number)</u>	<u>Worthing (value) £'000</u>
Ratepayers with an annual increase of less than £100	113	5.4	173	6.5
Ratepayers with an annual increase of between £100 and £200	60	9.1	63	9.3
Ratepayers with an annual increase of between £200 and £300	43	10.8	55	13.6
Ratepayers with an annual increase of between £300 and £500	51	20.3	98	39.0
Ratepayers with an annual increase of between £500 and £1,000	43	28.7	59	39.5
Ratepayers with an annual increase of between £1,000 and £2,000	62	86.2	94	132.8
Ratepayers with an annual increase of between £2,000 and £5,000	39	118.2	70	208.6
Ratepayers with an annual increase of more than £5,000	22	229.8	23	310.5

APPENDIX FOUR - ratepayers who appear likely to potentially qualify for discretionary assistance (analysis by percentage increase)

<u>Percentage increase compared to 2016/17</u>	<u>Adur (number)</u>	<u>Adur (value) £'000</u>	<u>Worthing (number)</u>	<u>Worthing (value) £'000</u>
Ratepayers who paid £nil in 2016/17 but who have something to pay in 2017/18	22	50.1	21	56.0
Ratepayers with an annual increase of less than 2.5%	55	7.3	100	20.8
Ratepayers with an annual increase of between 2.5% and 5%	51	20.7	43	29.6
Ratepayers with an annual increase of between 5% and 7.5%	169	51.3	282	78.2
Ratepayers with an annual increase of between 7.5% and 10%	15	12.8	29	63.2
Ratepayers with an annual increase of between 10% and 15%	46	94.4	66	114.6
Ratepayers with an annual increase of between 15% and 20%	13	45.9	27	73.2
Ratepayers with an annual increase of between 20% and 50%	26	148.3	25	164.1
Ratepayers with an annual increase of more than 50%	36	75.7	42	160.2

APPENDIX FIVE - ratepayers who appear likely to potentially qualify for discretionary assistance (analysis by 2017 rateable value)

<u>Rateable Value (RV) 2017</u>	<u>Adur</u> <u>(number)</u>	<u>Adur</u> <u>(value)*</u> <u>£'000</u>	<u>Worthing</u> <u>(number)</u>	<u>Worthing</u> <u>(value)*</u> <u>£'000</u>
RV less than £1,000	7	0.9	46	1.6
RV between £1,000 and £5,000	97	22.8	81	24.1
RV between £5,000 and £7,500	37	20.9	68	34.2
RV between £7,500 and £10,000	48	22.1	47	18.4
RV between £10,000 and £15,000	49	22.5	100	50.6
RV between £15,000 and £20,000	64	41.1	88	46.1
RV between £20,000 and £30,000	45	58.7	62	69.8
RV between £30,000 and £50,000	32	36.1	59	89.9
RV between £50,000 and £100,000	26	75.6	56	180.2
RV more than £100,000	28	207.8	28	244.9

**** increase in the annual Rates that are payable compared to 2016/17***

APPENDIX SIX - responses to the public consultation

A total of twenty-nine responses were received.

Question 1

About you

	<u>Number</u>	<u>Percentage</u>
A ratepayer in Adur	2	6.9%
A ratepayer in Worthing	14	48.3%
A resident of either Adur or Worthing	13	44.8%

Question 2

The Councils are considering setting a Rateable Value cap of £200,000 above which no relief will be awarded. This means that if a property has a Rateable Value of £200,000 or more, no relief will be awarded. This is in line with the Government's grant distribution formula. Do you agree with this proposal?

	<u>Number</u>	<u>Percentage</u>
Yes	20	69.0%
No	9	31.0%

Question 3

If you answered "No" to question 2, should the Rateable Value be capped?

	<u>Number</u>	<u>Percentage</u>
Yes	5	55.6%
No	4	44.4%

If yes, what level should the cap be set at?

- £100,000 (1 respondent)
- £300,000 (2 respondents)
- £350,000 (1 respondent)
- £1,000,000 (1 respondent)

Question 4

The Councils are considering not awarding relief for pubs that have already been awarded reduction of £1,000 for 2017/18. Do you agree with this proposal?

	<u>Number</u>	<u>Percentage</u>
Yes	26	89.7%
No	3	10.3%

Question 5

The Councils are considering not awarding relief for ratepayers who have already been awarded Small Business Rates Relief. Do you agree with this proposal?

	<u>Number</u>	<u>Percentage</u>
Yes	22	75.9%
No	7	24.1%

Question 6

Relief will only be considered if the ratepayer was liable to pay Business Rates at the same address on 1st January 2017. Do you agree with this proposal?

	<u>Number</u>	<u>Percentage</u>
Yes	18	62.1%
No	11	37.9%

Question 7

The Councils are considering the following methodologies. Please indicate your preference or specify alternative criteria that you think would be more appropriate.

	<u>Number</u>	<u>Percentage</u>
A fixed amount of reduction irrespective of how much the rate payer's bill is	2	6.9%
A fixed percentage of reduction irrespective of how much the rate payer's bill is	25	86.2%
Alternative criteria (please specify below)	2	6.9%

The two responses for alternative criteria were:

- Percentage should be on value of the property - unless it is a community based charity (1 respondent)
- Should be considered by each individual case (1 respondent)

Question 8

The Councils will re-calculate any relief that has been awarded if there's a change in the Rateable Value of the property or the ratepayer moves out of the property. Do you agree with these proposals?

	<u>Number</u>	<u>Percentage</u>
Yes	21	72.4%
No	8	27.6%

Question 9

Please use the space below to provide any additional comments or suggestions that would be helpful to the Councils in deciding the criteria for the local scheme for discretionary relief.

Five respondents provided additional comments which were:

- **Helping current and new small businesses is good news. I think there should be a maximum limit on value of the business property and preferably in town/high streets. No fast food businesses please.**
- **I believe that the rates should apply to a property rather than the tenant. The same rate relief should apply if the tenancy of the property changes. No company that occupies more than two properties nationally [*sic*] should be entitled to rate relief. This would ensure that the relief goes to small businesses. No rate relief should be available on a property that has been vacant for more than 6 months.**
- **If the space is occupied by a transient community of SME/lone workers who will always benefit from small business rates relief this should be considered. It is impractical with the growth of co-working spaces to apply for small business rates relief 3-4 times a year for the same space for no income, and additional admin.**
- **One cap doesn't fit all so should be awarded within the current [*sic*] flow of business according to different areas ,i.e. High street verses [*sic*] secondary etc**



ADUR & WORTHING
COUNCILS

Joint Strategic Committee
5 December 2017
Agenda Item 9

Key Decision: No

Ward(s) Affected: All

Council Tax Support Schemes for 2018/19

Report by the Director for Digital & Resources

Executive Summary

1. Purpose

1.1 Members are asked to recommend to their respective Full Councils the Council Tax Support Schemes in respect of 2018/19.

1.2 To assist in their decision this report includes details of the the costs of the 2017/18 Council Tax Support schemes and an analysis of the responses that were received to the public consultations that were conducted during October 2017 in respect of options for the schemes for 2018/19.

2. Recommendations

2.1 The Joint Strategic Committee is asked to:

(i) Note the content of this report

(ii) Recommend to Adur District Council that

1. Either

- a. The Council Tax Support scheme for Adur District Council in respect of working age customers for 2018/19 should be based upon the scheme for 2017/18 with no restrictions; or
- b. The Council Tax Support scheme for Adur District Council in respect of working age customers for 2018/19 should be based upon the scheme for 2017/18 with the introduction of
 - A £5.00 weekly restriction; and
 - A discretionary budget to support those in severe financial difficulties

2. No other changes should be made beyond necessary technical amendments required to keep the scheme consistent with the national rules in respect of Housing Benefit

3. A further public consultation should be conducted during the summer of 2018 to inform the decision in respect of the scheme to be implemented in respect of 2019/20

(iii) Recommend to Worthing Borough Council that:

1. The Council Tax Support scheme for Worthing Borough Council in respect of working age customers for 2018/19 should be based upon the scheme for 2017/18 with

- a. The £5.00 weekly restriction retained; and
- b. The discretionary budget to support those in severe financial difficulties retained; and
- c. No other changes made beyond necessary technical amendments required to keep the scheme consistent with the national rules in respect of Housing Benefit

2. A further public consultation should be conducted during the summer of 2018 to inform the decision in respect of the scheme to be implemented in respect of 2019/20

3. Context

- 3.1 Since April 2013 Members have had the freedom to set a local Council Tax Support Scheme in respect of “working age” customers. Both Councils opted to retain the national scheme for 2013/14 and 2014/15 and whilst Adur District Council also retained the national scheme since, Worthing Borough Council introduced a £5.00 per week restriction from 1 April 2015 for all “working age” customers together with a discretionary budget to allow additional assistance to be provided where appropriate.
- 3.2 There are statutory protections for all pensioners and refugees, so local schemes only apply to “working age” customers.
- 3.3 At the meeting of Adur Full Council held on 23 February 2017 it was resolved that:
- There should be no restrictions introduced in respect of the 2017/18 scheme; and
 - No other changes should be made beyond necessary technical amendments required to keep the scheme consistent with the national rules in respect of Housing Benefit; and
 - A further public consultation should be conducted during 2017 to inform the decision in respect of the 2018/19 scheme
- 3.4 Worthing Borough Council delegated the decision about the 2017/18 scheme to the Cabinet Member for Resources (in consultation with the Cabinet Member for Customer Services) and on 25 January 2017 it was determined
- The £5.00 weekly restriction should be retained; and
 - No other changes should be made beyond necessary technical amendments required to keep the scheme consistent with the national rules in respect of Housing Benefit; and
 - A further public consultation should be conducted during 2017 to inform the decision in respect of the 2018/19 scheme
- 3.5 At its meeting held on 12 September 2017 the Joint Strategic Committee considered a report about the questions to be included in the public consultation for each Council and consultations were subsequently conducted from 29 September 2017 to 20 October 2017.
- 3.6 The content of the consultations was compiled ensuring that the outcomes of the case *R(on the application of Moseley (in substitution of Stirling Deceased)) (AP) (Appellant) v London Borough of Haringey (Respondent)* were met such that the documents
- Were clear and understandable, and therefore not unduly complex or lengthy
 - Included information about realistic alternatives

4. Issues for consideration

- 4.1 The introduction of local schemes was accompanied by a reduction of around 10% in the amount of subsidy paid to local authorities. However, the cost of benefits fell during 2013/14 and the final net cost of introducing the scheme in 2013/14 was substantially lower than expected:

	2013/14 estimated cost of CTS	Council share of overall cost	Grant received	Net cost	Percentage shortfall in funding
	£'000	£'000	£'000	£'000	%
Adur	4,975	856.7	-850	6.7	0.78%
Worthing	7,049	1,004	-947	5.7	5.68%

4.2 Whilst Adur District Council also retained the national scheme for 2015/16 - 2017/18, Worthing Borough Council amended the scheme in 2015/16 and has retained this amended scheme since. The scheme approved within Worthing:

- Introduced a £5.00 per week restriction for all “working age” customers; and
- Created a discretionary £80,000 budget in partnership with the County Council to allow additional assistance to be provided where appropriate; and
- Provided 1 x FTE additional member of staff to the Revenues & Recovery Team in anticipation of the additional recovery work that would arise

4.3 Over the past few years the cost of Council Tax Support has fallen as local employment has improved and as the result of the introduction of the £5.00 weekly restriction in Worthing from 1 April 2015 the overall cost has been:

	2012/13 Actual	2013/14 Actual	2014/15 Actual	2015/16 Actual	2016/17 Actual	2017/18 Estimate
	£'000	£'000	£'000	£'000	£'000	£'000
Adur	5,195	4,975	4,633	4,414	4,313	4,546
Worthing	7,287	7,049	6,754	5,201	5,167	5,764
	12,482	12,024	11,387	9,615	9,480	10,310
Annual decrease (-) / increase		-3.7%	-5.3%	-15.6%	-1.4%	8.8%

4.4 However, the grant towards the cost of Council Tax Support Schemes has been consolidated into the Revenue Support Grant which has fallen each year and will cease by 2018/19. This means that the Councils face an ever-increasing cost associated with the scheme. By 2017/18, the level of subsidy is estimated to be:

	2017/18 cost of CTS	Council share of overall cost	Grant received	Net cost	Percentage shortfall in funding
	£'000	£'000	£'000	£'000	%
Adur	4,546	797.0	-422.4	374.6	47.0
Worthing	5,764	747.0	-477.1	269.9	36.1

4.5 The amount of subsidy that the Councils are required to contribute towards the cost of the schemes will continue to increase as Revenues Support Grant is reduced. However, by 2018/19 neither Council will receive any Revenue Support Grant so the net cost to the Council should stabilise and only increase in line with Council Tax increases from 2019/20 onwards

4.6 Based on a 2% increase in both the basic Council Tax and the Social Care levy from West Sussex County Council in 2018/19, the level of subsidy will increase as follows:

Net Cost of Council Tax Support	2013/14 Actual	2015/15 Actual	2015/16 Actual	2016/17 Actual	2017/18 Estimate	2018/19 Estimate
	£'000	£'000	£'000	£'000	£'000	£'000
Adur	6.7	46.3	101.8	243.6	374.6	541.4
Worthing	57.0	125.9	16.5	133.5	269.9	355.6

4.7 The restriction implemented in Worthing in respect of 2015/16 resulted in all working age” customers being asked to pay at least £261.43, subject to being able to apply for additional financial support by way of a discretionary award.

4.8 For those customers who were previously in receipt of maximum Council Tax Support (and therefore had £nil to pay) this represented a significant change and considerable work was undertaken to engage with these customers to discuss a realistic payment arrangement and ensure that financial inclusion was maximised.

4.9 Additionally, the issue of a summons and the Magistrates’ Court granting a Liability Order results in costs being added to the account. If an account is subsequently referred to an Enforcement Agent additional statutory fees of either £75.00 or £310.00 will also become due (the level of the fees depends on the stage at which the customer engages with the Enforcement Agent).

4.10 In conjunction with the Customer Service Team, an empathetic approach has been taken when considering payment arrangements and where appropriate customers have been provided with assistance to complete an application form for a discretionary award and/or signposted to debt advice agencies. For Members’ information, the annual in-year collection rates for the last three financial years have been

	<u>Adur</u>	<u>Worthing</u>
2014/15	97.62%	98.15%
2015/16	97.67%	97.38%
2016/17	97.89%	97.58%

4.11 Members should be aware that the introduction of a restriction in Adur or an increase in the restriction in Worthing from April 2018 will coincide with the introduction of the full roll-out of Universal Credit by the Department for Work & Pensions. Residents claiming Universal Credit are currently subject to a period of at least six weeks before they receive payment of their full entitlement.

5. Engagement and Communication

- 5.1 Separate consultations for the two Councils have been undertaken between 29 September 2017 and 20 October 2017.
- 5.2 The consultations were publicised via social media, a press release and by including paper copies with all Benefit award letters that were issued. Hard copies of the consultations were also available at the Shoreham Centre and Portland House, with an electronic copy being publicised on the Councils' website. Additionally, members of the Housing Team encouraged Adur Homes tenants to submit responses.
- 5.3 The results from the consultation for Adur District Council are shown in appendix 1 and the results for Worthing Borough Council are shown in appendix 2. In summary:

<u>Question</u>	<u>Percentage of respondents</u>	
	<u>Adur</u>	<u>Worthing</u>
Should a £5.00 per week restriction be introduced (in Adur) or retained (in Worthing)?	Yes: 41.18% No: 52.94% Not sure: 5.88%	Yes: 51.65% No: 34.07% Not sure: 14.29%
Should the rules for Council Tax Support be aligned with the rules for Housing Benefit/Universal Credit?	Yes: 70.59% No: 11.76% Not sure: 17.65%	Yes: 56.04% No: 14.29% Not sure: 29.67%

- 5.4 In order that Members are aware of the impact that the introduction or increase of any restriction on particular client groups, details of the number of live claims for working age customers currently in receipt of Council Tax Support are shown in appendix 3.
- 5.5 Appendix 4 contains an analysis of the position (as at 16 November 2017) of the Council Tax payments received from working age Council Tax Support customers, together with details about recovery action that has been taken for unpaid sums. The analysis only relates to Worthing Borough Council because additional functionality has previously been commissioned from the Councils' software supplier, but this is not yet available in respect of the Adur database.

6. Financial Implications

- 6.1 When the £5.00 restriction was introduced by Worthing Borough Council in 2015/16, the Council saw an immediate increase in Council Tax income, however to achieve this level of income the Council needed to invest in additional staff, a new hardship fund, and allow for an increased level of write off. The eventual financial benefit was:

	Overall gain in 2015/16	Worthing Borough Council share
	£'000	£'000
Estimated impact of reduced Council Tax Support cost on Council Tax income	1,098.7	153.5
Less: Additional staffing required	-20.0	-20.0
Less: Hardship Fund	-80.0	-20.0
Less: Allowance for increased write offs @ 5%	-54.9	-7.7
	943.8	105.8

- 6.2 If Adur members choose to implement a £5.00 per week restriction accompanied by a discretionary Council Tax Support Hardship Fund, the financial gain in respect of 2018/19 is estimated to be:

	Overall	Adur District Council share
	£'000	£'000
Impact of reduced Council Tax Support cost on Council Tax income	739.5	126.5
Less: Additional collection costs	-20.0	-20.0
Less: Hardship Fund	-80.0	-20.0
Less: Allowance for increased write offs @ 5%	-37.0	-6.3
	602.5	80.2

7. Legal Implications

- 7.1 In respect of 2013/14 and 2014/15 both Councils adopted an amended “default” Council Tax Reduction Scheme. Adur also adopted the “default” Council Tax Reduction Scheme in respect of 2015/16 and 2016/17. In all instances this was in accordance with The Council Tax Reduction Schemes (Default Scheme) (England) Regulations 2012, Statutory Instrument 2012 No. 2886 and The Council Tax Reduction Schemes (Prescribed Requirements) (England) Regulations 2012, Statutory Instrument 2012 No. 2885.
- 7.2 Any Council Tax Reduction Scheme must comply with the relevant sections of the Local Government Finance Act 2012 and with the delegated legislation under that Act as contained within The Council Tax Reduction Scheme (Default Scheme) Regulations 2012 and the Council Tax Reduction Schemes (Prescribed Requirements) Regulations 2012, as amended.
- 7.3 Further, under Schedules 4 paragraph 3 of the Local Government Finance Act 2012 the Councils are required before making the Schemes (and to do so in the following order) to consult with the major precepting authorities, publish a draft scheme in such manner as it thinks fits and consult with such other person as it considers are likely to have an interest in the operation of the Scheme. Note that any revision of a Scheme must follow the same process as the making a Scheme. In the case of *R (Moseley) v*

London Borough of Haringey [2014] UKSC 56 the Supreme Court held that the statutory duty of consultation required the consultees to be provided with information about the draft scheme but also with an outline of the realistic alternatives and an indication of the authority's main reasons for adopting the draft scheme.

7.4 There is therefore a requirement to consult annually with residents.

Background Papers

Localising Support for Council Tax in England report to the Joint Strategic Committee held on 22nd July 2014

Welfare Reform Act 2012

Local Government Finance Bill 2012

Minutes of the meetings of the Joint Strategic Committee of Adur District and Worthing Borough Councils held on 26 July 2012, 28 November 2012, 3 December 2013, 2 December 2014, 2 February 2016 and 10 January 2017

Minutes of the Adur Full Council meeting held 23 February 2017

Decision made by the Council Executive Member for Resources for Worthing Borough on 25 January 2017 (reference W/RES/007/16-17)

Report considered by the Joint Strategic Committee on 12 September 2017

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Sustainability & Risk Assessment

1. Economic

Whilst Council Tax represents an important source of income to the Councils, financial support must be provided to residents on a low income via appropriate Council Tax Support schemes.

2. Social

2.1 Social Value

Matter considered and no issues identified.

2.2 Equality Issues

Matter considered and no issues identified.

2.3 Community Safety Issues (Section 17)

Matter considered and no issues identified.

2.4 Human Rights Issues

Matter considered and no issues identified.

3. Environmental

Matter considered and no issues identified.

4. Governance

Matter considered and no issues identified.

Appendix 1 - results from the consultation for Adur District Council

Seventeen responses were received.

Q1. Of the respondents

- 12 (70.59%) live in Adur
- 2 (11.76%) live and work in Adur
- 1 (5.88%) lives, works and runs a business in Adur
- 1 (5.88%) lives and works in Adur and also works in Worthing
- 1 (5.88%) doesn't live, work or run a business in either Adur or Worthing

Q2. The age range of respondents:

19 or under	20 to 29	30 to 39	40 to 49	50 to 59	60 to 69	70 or over
0	0	2 (11.76%)	5 (29.41%)	3 (17.65%)	3 (17.65%)	4 (23.53%)

Q3. The annual income of respondents:

£9,999 or under	£10,000 to £14,999	£15,000 to £19,999	£20,000 to £29,999	£30,000 to £39,999	£40,000 or over
3 (17.65%)	1 (5.88%)	2 (11.76%)	3 (17.65%)	3 (17.65%)	5 (29.41%)

Q4. What's your postcode?

A map of respondents' postcodes is shown after the response to question 9.

	Yes	No	Don't know/not sure
Q5. Do you currently get Council Tax Support?	4 (23.53%)	12 (70.59%)	1 (5.88%)

	Yes	No	Prefer not to say
Q6. Are you disabled?	5 (29.41%)	10 (58.82%)	2 (11.76%)

Q7. If we introduce a restriction of £5.00 per week this would mean that all working age customers who get Council Tax Support would be asked to pay Council Tax of at least £26.00 per month. Should we introduce a £5.00 per week restriction with extra help made available for those who would find paying £5.00 difficult?

- Yes = 7 (41.18%)
 - Currently in receipt of Council Tax Support = 1 (5.88%)
 - Not Currently in receipt of Council Tax Support or not sure = 6 (35.29%)

 - Disabled = 2 (11.76%)
 - Not disabled or prefer not to say = 5 (29.41%)

- No = 9 (52.94%)
 - Currently in receipt of Council Tax Support = 3 (17.65%)
 - Not Currently in receipt of Council Tax Support or not sure = 6 (35.29%)

 - Disabled = 3 (17.65%)
 - Not disabled or prefer not to say = 6 (35.29%)

- Not sure = 1 (5.88%)
 - Currently in receipt of Council Tax Support = 0
 - Not Currently in receipt of Council Tax Support or not sure = 1 (5.88%)

 - Disabled = 0
 - Not disabled or prefer not to say = 1 (5.88%)

Q8. Should the rules for Council Tax Support be the same as the rules for Housing Benefit and Universal Credit (for example, the rules about the way that we work out how much income is coming into the household) so that people understand how the scheme works?

- Yes = 12 (70.59%)
 - Currently in receipt of Council Tax Support = 2 (11.76%)
 - Not Currently in receipt of Council Tax Support or not sure = 10 (58.82%)

 - Disabled = 3 (17.65%)
 - Not disabled or prefer not to say = 9 (52.94%)

- No = 2 (11.76%)
 - Currently in receipt of Council Tax Support = 1 (5.88%)
 - Not Currently in receipt of Council Tax Support or not sure = 1 (5.88%)

 - Disabled = 1 (5.88%)
 - Not disabled or prefer not to say = 1 (5.88%)

- Not sure = 3 (17.65%)
 - Currently in receipt of Council Tax Support = 1 (5.88%)
 - Not Currently in receipt of Council Tax Support or not sure = 2 (11.76%)

 - Disabled = 1 (5.88%)
 - Not disabled or prefer not to say = 2 (11.76%)

Q9. Are there any other changes that you would like to see?

- Every person uses the services that are supplied ie refuse collection etc so they should cover a token cost £5.00 a week is not a large sum when others may be paying £173 a month or more. Services have to be paid for so everyone should pay something towards the cost.
- Stricter investigation of people's finances including those person who declare themselves self employed and avoidance measures to avoid paying taxes
- I think the changes that are proposed are disgraceful. People on benefits for whatever reason can ill afford £5.00 per week or £26.00 per month. You are leaving people practically destitute. The changes that should be made should be the people working for the council being paid over and above a normal wage causing the council to have a large deficit. People with disability should be exempt from this. There are people paying bedroom tax already and this on top is going to break them. You truly can't squeeze any more money out of the poor can you? They will have to for go something if they have to pay for this like food or heating which they probably can barely afford. And how does £5.00 per week equate to a minimum of £26.00 per month?
- Everyone pays something. It's not fair that some of us pay £200+ per month and others pay nothing. Rules should be put in place that they pay essential bills like council tax before niceties such as Sky TV or fancy mobile phone packages
- If the alternative is to increase council tax in order to prevent a decrease in service, that would be my preferred option.
- Councillors should stop paying themselves 5% increases. Question on rules for Housing Benefit and Universal Credit is incomprehensible to those who don't know the rules



Appendix 2 - results from the consultation for Worthing Borough Council

Ninety-one responses were received.

Q1. Of the respondents

- 65 (71.43%) live in Worthing
- 17 (18.68%) live and work in Worthing
- 3 (3.30%) live and run a business in Worthing
- 1 (5.88%) lives and works in Worthing and also runs a business in Adur
- 5 (5.49%) work in Worthing

Q2. The age range of respondents was from 22 to 78, with an average age of just over 51.

Q3. What's your postcode?

A map of respondents' postcodes is shown after the response to question 8.

	Yes	No	Don't know/not sure
Q4. Do you currently get Council Tax Support?	25 (27.47%)	64 (70.33%)	2 (2.20%)

	Yes	No	Prefer not to say
Q5. Are you disabled?	11 (12.09%)	78 (85.71%)	2 (2.20%)

Q6. Should we keep the current £5.00 per week restriction with extra help for those who would find paying £5.00 difficult?

- Yes = 47 (51.65%)
 - Currently in receipt of Council Tax Support = 11 (12.09%)
 - Not Currently in receipt of Council Tax Support or not sure = 36 (39.56%)
 - Disabled = 3 (3.30%)
 - Not disabled or prefer not to say = 44 (48.35%)
- No = 31 (34.07%)
 - Currently in receipt of Council Tax Support = 8 (8.79%)
 - Not Currently in receipt of Council Tax Support or not sure = 23 (25.27%)
 - Disabled = 6 (6.59%)
 - Not disabled or prefer not to say = 25 (27.47%)
- Not sure = 13 (14.29%)
 - Currently in receipt of Council Tax Support = 6 (6.59%)
 - Not Currently in receipt of Council Tax Support or not sure = 7 (7.69%)
 - Disabled = 2 (2.20%)

- Not disabled or prefer not to say = 11 (12.09%)

Q8. Should the rules for Council Tax Support be the same as the rules for Housing Benefit and Universal Credit (for example, the rules about the way that we work out how much income is coming into the household) so that people understand how the scheme works?

- Yes = 51 (56.04%)
 - Currently in receipt of Council Tax Support = 13 (14.29%)
 - Not Currently in receipt of Council Tax Support or not sure = 38 (41.76%)
 - Disabled = 6 (6.59%)
 - Not disabled or prefer not to say = 45 (49.45%)
- No = 13 (14.29%)
 - Currently in receipt of Council Tax Support = 1 (1.10%)
 - Not Currently in receipt of Council Tax Support or not sure = 12 (13.19%)
 - Disabled = 2 (2.20%)
 - Not disabled or prefer not to say = 11 (12.09%)
- Not sure = 27 (29.67%)
 - Currently in receipt of Council Tax Support = 11 (12.09%)
 - Not Currently in receipt of Council Tax Support or not sure = 16 (17.58%)
 - Disabled = 3 (3.30%)
 - Not disabled or prefer not to say = 24 (26.37%)

Q8. Are there any other changes that you would like to see?

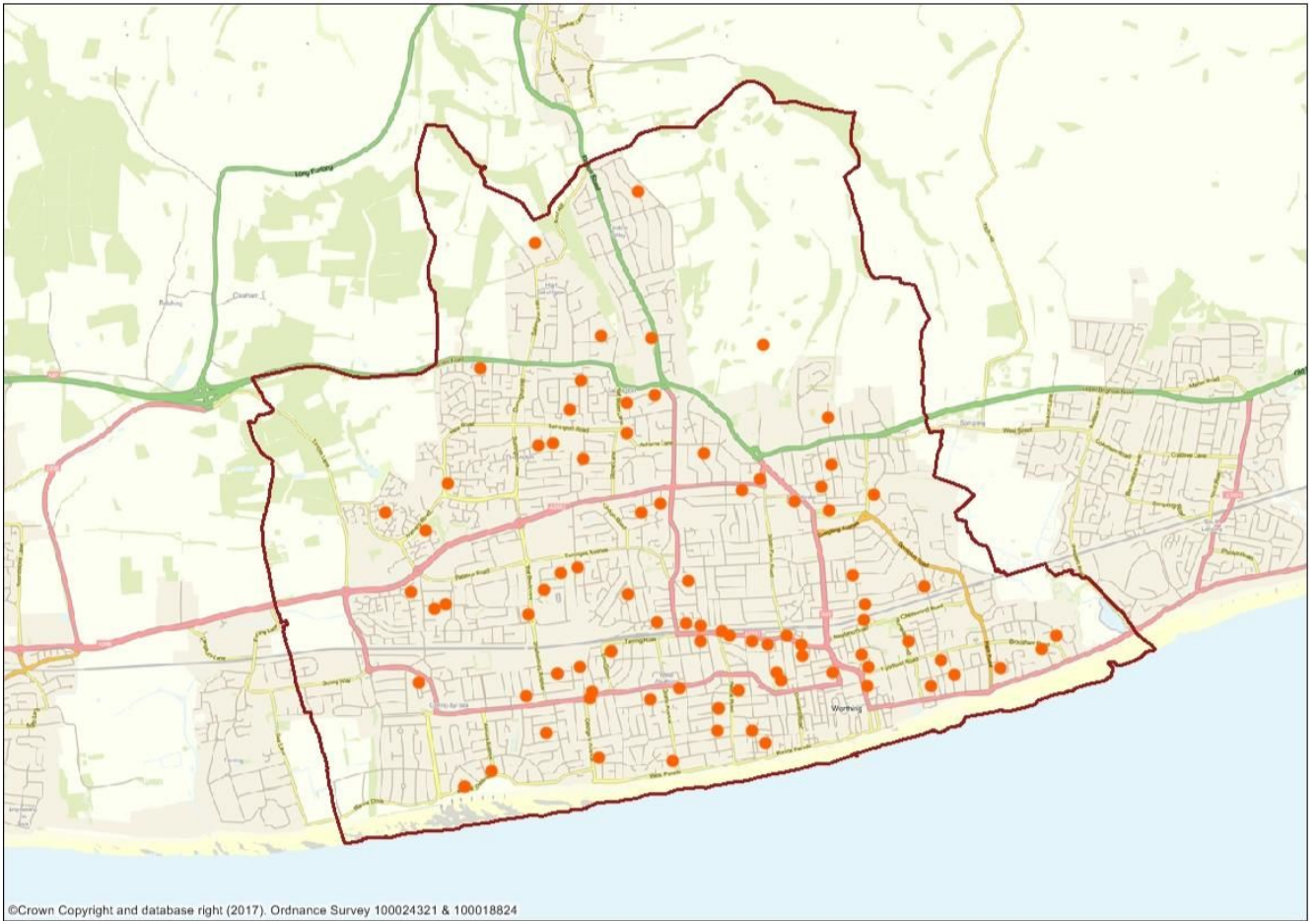
- Adur and Worthing share so much. They could share an approach to help those in the worst of financial plights - the working poor.
- Any family earning under 25,000 per annum should not have to pay council tax at all
- Anyone who receives a benefit of any kind, including a pension, should not have to pay ANY council tax. May I also recommend <http://www.plainenglish.co.uk/> as your form could be misleading, denying those who need council tax support the most?
- As someone who believes in progressive taxation I am strongly against any proposal that would mean that those on low incomes should have to pay more. From the information provided it would appear that the £5 restriction would apply to those on lower income and it is not clear exactly what extra help those who would find paying the £5 difficult would get. I don't think they should have to pay the £5 at all. This cost should be borne by those council tax payers who are financially better off, even if this means an increase in Council Tax.
- Better, tighter scrutiny checks for benefit cheats
- Can't think of anything at this present time.
- Clearer information and break down less bundles of letter confusing matters.
- Clearer information for vulnerable residents about how to access reductions and recognition of the fact that AWC has residents living in poverty

- Council Tax benefit should cover the full amount as it used to. £5 a week is an enormous amount of money if you're benefits and it is immoral to make people choose between paying council tax and food or electricity.
- Extra 1% towards emergency services
- Go back to 100% Council Tax Benefit for the lowest income homes
- Homeless people who manage to sustain a tenancy have huge financial challenges and part of their progress is learn into budget. They have a very tight budget and even £5 council tax is too much. We need to keep this folk in their homes and not risk them back on the streets.
- I believe that council tax should be deducted directly from wages/benefits so that people are not avoiding payments and there would be less money spent chasing those who do not pay.
- I can the most vulnerable in society should have no increase in council tax and if there is a shortfall it should be made up by those who can afford it.
- I do not think punishing the poorest by taking an extra 5 pounds a week will be affordable for them. It would be nice in your consultation to provide some details of how many people this applies to, how many are in arrears, and how much extra it would go up by for everyone else to cover the amount involved. Otherwise it seems a strange way to consult on such an important issue.
- I don't think this consultation is worded correctly and therefore I don't believe the question is asked fairly. The changes I would like to see would be made to the consultation wherein a more fairly worded question is asked. I think the poorest citizens should be exempt from paying the £5.
- I don't want anybody to have to pay extra if they can't afford to. To add £5 per week for those who are not in a position to pay is in my view wrong. An increase in Council Tax for those who can afford it is a better option for a fairer society. The wording of this questionnaire is ambiguous.
- I think council tax should be means tested especially as care workers and other low income families do not necessarily claim benefits
- I think what we should be thinking is how humane we want to be. I realise that putting an idea forward as a way of making people having a stake in their community sounds like a good idea, it negates the fact that people living in poverty don't need the added stress of finding their funding cut and making tax support a very confusing exercise. Raising the council tax by a few pence sends a message about us as human beings
- I thought the idea of making one single benefit payment (Universal Credit) was to assess the income needed which would take into account the cost of outgoings. Unless the Council Tax cost is recognised within the Universal Credit payment made to claimant I cannot agree that they should pay any amount of Council Tax. I would be interested to know how much the council received from the Council Tax Support scheme taking into account the costs paid for administering such a scheme. I am aware that up to now the Adur council has not asked for any payment for Council Tax from those people receiving benefits/Universal Credit which in my opinion is the right thing to do until the cost is added into the Universal Credit.
- I would like spot checks done on single parents claiming benefits, who clearly have their partner living there full time but have their post sent to their parents this is wrong!

- I would like to see that the grass verges are mowed more often and that the grass is collected up (If mowed more often then no need to collect cuttings). If you look a round Worthing at roundabouts etc the impression is one of what a place. All untidy and could not care a hoot. So if it means increasing the tax by a couple of pence per household then do so. Is it the councils policy to let people that care, mow outside their own place so the council do not have to pay. The refuse collection should also remain unchanged with weekly (Household Waste) and twice weekly for (Recyclable Waste).
- If people are working age and on very low income, I don't think they should be charged council tax at all. I note that Adur is now also consulting to bring in a similar scheme so that residents of a property have to pay £5 per week council tax. If Adur managed for several years without imposing council tax on those on low incomes, why cannot Worthing do the same? Both are prosperous areas where revenues from council tax must be relatively high, so that we have been cushioned from the worst effects of austerity. Are there not savings that can be made from other areas of the Council's budget? I believe it is central government that has been cutting funding to local councils, so I would like to see Worthing Council applying more pressure on central government if there are shortfalls in our funding. We are lucky to live in a relatively prosperous part of the country, and should care for those amongst us who have the misfortune of a low-paid job.
- I'm sorry but this consultation document is terribly badly worded. I don't even really know what is meant by £5 per week restriction. And I only heard of this consultation when a friend mentioned it to me. But it seems from what she said that it is basically a plan to penalise the lowest income families by asking them to pay £5 a week more council tax. Is that the case? How is this a good idea? You will simply put more families and children into worse situations than they are in already. Are you aware that child poverty is the single biggest factor in determining the well-being, success, happiness and stability of adults? Do you want to contribute to adding more misery to lives? I believe this consultation should be reworded and clarified, and then the people of Worthing who will be affected the most should be MADE AWARE OF IT.
- Maybe those getting the subsidy could do a bit of payback in their local community? Litter picking for example, giving them pride in their area and if unemployed could look good on CV?
- Need to make the 'help for those who find paying £5 difficult' better known - I certainly haven't heard about it! Asking for help is hard and need to make it easier and simpler otherwise the vulnerable miss out.
- People on a low income or in receipt of benefits should NOT have to pay Council Tax
- People on the very lowest incomes struggle to feed their families and keep them warm. Any extra burden on their budgets could have a detrimental effect on their health. Whilst understanding that the council needs money to provide social services the poor should not be asked to pay for them. If public taxes were distributed between councils instead of paying private companies to run public services we would all be better off!
- People should pay something for the services they receive. This would make them aware of the councils costs and help toward the budget.

- People struggle enough on benefits without worrying about council tax as well go back to how it used to be
- Provide decent public services as a mark of a civilised society funded from income or wealth related taxation not flat rate taxes.
- Provide good public services as your duty, funded properly by income or wealth related taxes. This is the decent way a society should look after each other.
- Provide more information on the impact these changes will have on people. Its also not clear to me what's being proposed. I believe this consultation is not useful due to lack of information.
- I feel personally as a single mother of three children, two are dependents and work part-time, it is unfair to expect me to pay the £5 per week as I already make a contribution towards my Council Tax. I am not sure but I don't think I get any help as can be seen by recent mail sent to myself so I do not see why I should then have to pay a further £20 per month. I do believe that all households should contribute to Council Tax especially if they do not contribute at all. I feel it is also wrong that I, a single occupancy, should pay the same as a household with two adults living in it. With twins who will be attending high school next September who is means tested on all the benefits I receive, who is teaching my children the importance of working to contribute to the community, a value I believe is vital for all. The extra £20 I pay through this scheme could really help me provide for my family. I could put it by to pay for their new uniforms for next September.
- I don't think it's fair for people that are already paying Council Tax to pay an extra £5.00 per week on top of this no. The people that don't pay any Council Tax chase them.
- I am disabled and cared for my dear husband for 10 years. He has dementia and I now only got £73 a week. Need to give Worthing Homes £16 a week, £10 for TV and phone which means I have just £47 a week to live on. Not at all fair. This is all so unfair and cruel. I love my husband. We did not ask for him to get dementia and end up in care. I cannot yet get my pension because it is now 66 for pension, again not fair. So I have just £73.10p for all my needs which I guess one day very soon they will stop as they do a lot to people
- Help with rent (only) even if you're not claiming benefits (don't punish people who don't earn a lot by making all their wages go on Council Tax or rent
- Reduce salaries of top council workers and save money that way. Stop paying consultant fees for blindingly obvious answers.
- Remove restriction exemption
- Tax bill needs to be more in line with actual services used by individual taxpayer, rather than be linked to the value of the property. Properties are of a bad quality, so why a single person foreigner that has no other activities (with proof) has to pay this extraordinary money? "To pay for those that they can't afford" is not a valid justification, considering the society we live is money and profit-driven - why should I care when nobody cares about me?
- That the amount is worked out on people's income so those worse off do not pay anything.

- The way in which the question and consultation has been presented is misleading. This is not a restriction or a form a support it is nothing more than putting a tax on people who have minimal income to please those that do. There is not extra help for people who cannot afford the £5 council tax. People on income support who already cannot afford it are being forced to pay it. The above question sounds like the £5 weekly restriction also helps people who would find paying it which is not true. The £5 weekly restriction is a new policy and is a way of freezing council tax rates for those who can afford it by making people who cant, the most vulnerable pay, when previously taxing people on low income support was unthinkable. This means that even people who receive income support as low as £73.10 or £57.90 (if under 25) a week still have to pay £5 a week council tax.
- I work in a homeless hostel and are can see how this tax (£5 restriction) can have detrimental impact on people. After being used to paying low service charge in our projects clients already have the shock of then needing to pay all their bills (water/electric/TV licence) which can leave them very little to pay for food, travel, personal costs etc. Some of them are trying to pay off debts which is how they became homeless. Although £5 a week might not seem much, for most of people who are on income support (JSA/ESA/UC) who are already struggling with their finances and meeting the costs of living, it can make a huge difference and could affect their ability to sustain a tenancy. Council tax should only be paid by people who have sufficient income/earnings and do not rely on income support
- We had no income other than maternity pay for 6 month after my husband tried to kill himself and still had to pay this and we had to go to food banks to be able to eat and pay the bills £129 a week for 2 people is hard enough in hard times without working out if you have £5 fee on top.
- Why charge people who cannot afford it any council tax, surely when they default it costs far more to try and get the money back than simply leaving it.
- Working as a social worker within Worthing, I have seen how damaging to one's finances this £5 weekly payment can be. Amounting to £20 monthly, this is incredibly difficult to pay for those in receipt of benefits. Even more worrying, is the introduction of Universal Credit. Claimants are going to need to budget their finances to a degree that many will find challenging. This is especially so for those with mental health conditions and learning disabilities. The ongoing council tax charge will only further this challenge and cause unwarranted distress.
- Worthing should go back to 100% support. This draconian policy puts the most vulnerable families into debt. The Child Poverty Action Group has grave concerns of the impact of this scheme, which has created serious administrative and financial burdens for local councils. Over the last 4 years 317 052 people in London have been charged £34.7 in court costs alone. This consultation is confusing and the language is inappropriate. Conservative councillors will be shocked if they knew the impact of this policy in Worthing. You are putting the poorest families into debt and you are not being transparent. I have seen no Equality Impact Assessment of this policy and I therefore believe you must go back and reconsider your action immediately. You have failed to meet your duty to the poorest residents of Worthing District and the more affluent will be disgusted when they hear about this in the local press.



Appendix 3 - current numbers of working age customers in receipt of Council Tax Support

Total caseload

- Adur: 2,274
- Worthing: 3,492

<u>Customer circumstances</u>	<u>Adur</u> (number of claims)	<u>Worthing</u> (number of claims)
Passported - War Pensioners	0	1
Passported - Disabled	848	1,410
Passported - Carer	45	166
Passported - Disabled child	44	16
Passported - Couples and lone parents with at least one child in the household	328	387
Passported - but also working	9	40
Passported - other circumstances	130	406
Non-Passported-War Pensioners	4	2
Non-Passported - Disabled	158	267
Non-Passported - Carer	15	39
Non-Passported - Disabled child	31	11
Non-Passported - Couples and lone parents with at least one child in the household	497	332
Non-Passported - and working	106	266
Non-Passported - other circumstances	59	149

“Passported” means the customer is in receipt of Income Support, income-based Jobseeker’s Allowance or income-related Employment & Support Allowance. In Adur, under the rules for the 2017/18 Council Tax Support schemes they generally have no Council Tax to pay.

Appendix 4 - analysis of the position (as at 16 November 2017) for Worthing Borough Council in respect of Council Tax payments received from working age Council Tax Support customers and details about recovery action that has been taken for unpaid sums

<u>In respect of Council Tax bills for 2017/18</u>	<u>Working age CTS customers (number/value and percentage)</u>	<u>Non-working age CTS customers * (number/value and percentage)**</u>
Total number of accounts	3,492 (7.00%)	46,428 (93.00%)
Total value of gross Council Tax charged (before CTS is awarded)	£4,079,878 (5.25%)	£73,628,135 (94.75%)
Total value of Council Tax Support awards	£2,838,760	N/A
Net Council Tax charged	£1,241,118 (1.99%)	£61,235,398 (98.01%)
Council Tax payments received	£712,082 (1.55%)	£45,203,344 (98.45%)
Net Council Tax remaining to be paid	£529,036 (3.19%)	£16,032,054 (96.81%)
Summons and Court costs raised	£70,860 (35.04%)	£131,390 (64.96%)
Summons and Court costs withdrawn	£3,475 (28.57%)	£12,169 (71.43%)

* The percentage relates to the total value or number

** This column includes pensioners in receipt of Council Tax Support

Current recovery status in respect of Council Tax bills for 2017/18 where a Liability Order has been granted

<u>In respect of Council Tax bills for 2017/18</u>	<u>Working age CTS customers (number and percentage)</u>	<u>Non-working age CTS customers * (number and percentage)**</u>
Accounts where a Liability Order has been granted and a response from the customer is awaited in respect of a letter asking them to contact the Revenues & Recovery Team	199 (68.86%)	90 (31.14%)
Accounts where a Liability Order has been granted and a payment arrangement has been made with the customer	175 (30.38%)	401 (69.62%)
Accounts where a Liability Order has been granted and an Attachment of Earnings has been set up (for deductions from earnings to be made by the employer)	6 (4.92%)	116 (95.08%)
Accounts where a Liability Order has been granted and an Attachment of Benefit has been set up (for deductions from benefits to be made by the DWP)	17 (77.27%)	5 (22.73%)
Accounts where a Liability Order has been granted and an Attachment of Earnings or an Attachment of Benefit is pending	94 54.02%)	80 (45.98%)
Accounts referred to Enforcement Agents (bailiffs)	31 (12.30%)	221 (87.70%)
Accounts where a summons has been issued but a Liability Order has not yet been obtained because the Court date has not yet been reached	48 (25.40%)	141 (74.60%)
Accounts where a Liability Order has been obtained and a decision needs to be made about what the next recovery action should be	60 (28.17%)	153 (71.83%)
Accounts where a Liability order has been obtained and the outstanding balance is due to be written off	1 (33.33%)	2 (66.67%)
Accounts where a Liability Order has been obtained but further recovery action has been temporarily suspended	16 (61.54%)	10 (38.46%)

* The percentage relates to the total number

** This column includes pensioners in receipt of Council Tax Support



ADUR & WORTHING COUNCILS

Key Decision [~~Yes~~/No]

Adur and Worthing Economic Strategy 2018-2023

Report by the Director for the Economy

Executive Summary

1. Purpose

- 1.1 Earlier this year, the Councils commissioned the development of Economic Profiles for each local authority area, together with the preparation of an Economic Strategy for Adur & Worthing.
- 1.2 Following extensive data analysis, secondary research, stakeholder interviews and consultation, the Economic Strategy for Adur & Worthing 2018-2023 is now attached for Member approval (see Appendix A).
- 1.3 The Economic Strategy focuses on key issues and opportunities, presented under the following three headings:
 - The Power of Place
 - Prosperity and Productivity
 - The Potential of our People
- 1.4 The Strategy includes an Action Plan that is focused on the following three transformational solutions. These ensure that priorities are addressed in a coherent and mutually-reinforcing way, help build resilience, create distinctiveness and deliver significant economic impact.
 - Superconnected Worthing
 - Adur Applied Technologies Centre
 - Technology Futures: Skills for Innovation

2. Recommendations

- 2.1 That the Joint Strategic Committee approve the Adur and Worthing Economic Strategy 2018-2023 and endorse the three transformational solutions recommended in the Action Plan.

3. Context

- 3.1 The Council's last produced an Economic Plan for Adur and Worthing in 2013 which set out six economic priorities and a number of aims intended to help strengthen the local economy and encourage sustainable growth. Although a delivery plan was never developed, a number of specific initiatives were implemented or contributed to, including the Adur & Worthing Business Awards which continue to this day.
- 3.2 Following the launch of the Council's' Economic Plan in 2013, a number of significant new partnership plans emerged the following year, including Coast to Capital's first Strategic Economic Plan (SEP) and the Greater Brighton City Deal. These regional plans, and the partnerships behind them, subsequently shaped priorities and economic investment opportunities, not only for the Councils but also for our businesses and partners, including the County Council and Coastal West Sussex.
- 3.3 The Councils' recent successes in securing investment through the Local Growth Fund is testament to the importance of being a trusted partner, and clearly setting out the Councils' strategic ambitions for the area. Having a forward-looking, evidence-based Economic Strategy that complements the vision and commitments set out in Platforms for our Places, Local Plans and other Council and partner strategies, builds credibility and ensures that the Councils' ambitions for the economy and places of Adur and Worthing are known and understood.

4. Issues for consideration

- 4.1 The Adur & Worthing Economic Strategy has been prepared following extensive analysis of economic data and a comprehensive review of local research, policy and partner strategies. Consideration has been given to the national policy context, including the emerging Industrial Strategy, and the outcome of recent discussions with government officials on the importance of Place in the delivery of local industrial strategies.
- 4.2 The Adur and Worthing Economic Strategy is underpinned by separate Economic Profiles for Adur and Worthing. These draw together key issues, opportunities and trends emerging over a five year period, up to and including the most recently available data. Comparisons are made with different economic geographies, including the Coast to Capital Local Enterprise Partnership area, Greater Brighton, West Sussex, and Coastal

West Sussex. The Economic Profiles have been previously circulated to Members and will form part of a technical annexe to the approved Strategy.

- 4.3 As well as looking at historic data and emerging trends, consideration was given to forward plans, research and insight. Issues and opportunities were explored and tested with key stakeholders, and subsequently expanded and refined through a series of consultation workshops.
- 4.4 Throughout this comprehensive and rigorous process, the aim has been to produce an Economic Strategy that concentrates on the key issues and opportunities for Adur and Worthing, has credibility with partners, and provides a focus on a small number of mutually-reinforcing actions that have the potential to transform the economies of Adur and Worthing, enhance identity and distinctiveness of place, and provide rewarding employment opportunities for local people.
- 4.5 The introductory pages of the Strategy set out an economic vision, explain the concept of 'good growth' and outline the framework and methodology used in its preparation.
- 4.6 The Strategy is then organised into three sections, each covering a number of key topics and the associated issues, opportunities and priorities that emerged from the economic analysis and consultation workshops. The section headings and topic areas are summarised as follows:
 - 4.6.1 **The Power of Place:** including employment space, transport infrastructure, digital connectivity, housing, culture and heritage, and identity and sense of place.
 - 4.6.2 **Prosperity and Productivity:** including business growth, industries, knowledge economy, and productivity.
 - 4.6.3 **The Potential of our People:** including quality of life, workforce, workforce skills, wages and occupations.
- 4.7 An Action Plan draws these strands together in a small number of transformational solutions designed to ensure the priorities for Place, Prosperity and People are addressed in a coherent way. They provide a shared focus for work with our partners, align with other plans and strategies, and are mutually-reinforcing. The solutions, detailed below and at pages 21-23 of the Strategy, are also designed to enhance the distinctiveness and identities of Adur and Worthing, build resilience, and help further inspire and drive change.
 - 4.7.1 **Superconnected Worthing:** through providing gigabit-speed digital infrastructure and imaginative collaborative space for digital and creative companies in the heart of Worthing, to accelerate the

changing identity of the town and make it a leading edge, vibrant exciting place to be.

4.7.2 Adur Applied Technologies Centre: developing our industrial areas in Adur to take advantage of our manufacturing strengths and drive growth and productivity, increase exporting and stimulate innovation through applied technologies.

4.7.3 Technology Futures: Skills for Innovation: championing the development of a learning and skills ecosystem that enables economic growth by increasing the uptake, quality and application of skills, particularly Science, Technology, Engineering and Maths (STEM) skills, at intermediate and higher levels.

5. Engagement and Communication

5.1 Following a procurement process in March 2017, Simpson Consulting was selected to support economic analysis and preparation of an Economic Strategy for Adur and Worthing.

5.2 Early work provided for the collation and analysis of economic data relating to people and work; economic and business performance; infrastructure and connectivity; and community cohesion. Comprehensive databanks have been established, providing 5 years of data, supporting analysis and identification of trends across all economic geographies relevant to Adur and Worthing. These are: Coastal West Sussex, Greater Brighton, West Sussex County Council and Coast to Capital Local Enterprise Partnership.

5.3 Economic Profiles were prepared for Adur and Worthing, drawing on the findings of the data analysis and these, together with a comprehensive literature review, formed the basis of subsequent 1:1 interviews with key stakeholders. These included senior representatives from the local authorities, partnership organisations, and businesses. These structured interviews explored the findings of the analysis, tested the structure and time horizon for the Strategy, and sought to identify emerging opportunities and new ideas that had the potential to make a significant positive contribution to the economies and places of Adur and Worthing.

5.4 Findings from the analysis and key stakeholder interviews were used to help shape a series of consultation workshops held during September 2017. The main purpose of the workshops was to seek validation of the emerging issues and opportunities, refine and prioritise potential interventions, and build ownership and credibility with our partners and businesses. A total of four workshops were held with businesses, partners, Members and officers.

5.5 The research, analysis, interviews and consultation has been drawn together in the attached Economic Strategy. Once considered and

approved by the Joint Strategic Committee, the Strategy will be finalised, published in a visually attractive and accessible format, and disseminated via partnership and business networks.

- 5.6 The three transformational solutions contained in the Action Plan will form the basis of further dialogue with partners and the development of three programme of works which will include more detailed actions, delivery milestones, measures and review dates. In many cases, actions draw on, or directly contribute to, the commitments set out in Platforms for our Places. Monitoring and reporting on both documents will ensure that momentum is maintained, with a review and progress report specifically on the Economic Strategy to be provided at least annually.

6. Financial Implications

- 6.1 There are no direct financial implications arising from the approval of the strategy. However, if any of the initiatives contained within the Action Plan cannot be funded from within existing budgets or from external funding, then they will need to be considered further by members and additional budget identified.

7. Legal Implications

- 7.1 Section 111 Local Government Act 1972 provides that the Council shall have the power to do anything |(whether or not involving expenditure, borrowing, or lending of money or the acquisition or disposal of any property or rights) which is calculated to facilitate, or is conducive or incidental to the discharge of any of their functions.

Background Papers

Adur & Worthing Economic Plan 2013-2023
Coast to Capital Strategic Economic Plan, 2014
Greater Brighton City Deal, 2014
Adur Economic Profile, 2017
Worthing Economic Profile, 2017

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Sustainability & Risk Assessment

The priorities and proposals contained in the Strategy have been developed through an extensive consultation process with our partners and are intended to support the growth of economic resilience and sustainability. Delivery of the transformational solutions and the specific actions that result will be subject to further consultation and development of detailed project proposals that will be tested for sustainability and subject to risk assessment.

1. Economic

The purpose of the Strategy is to ensure that the economic challenges and opportunities for Adur and Worthing are known and understood. The actions proposed are designed to capitalise on strengths, tackle weaknesses, build distinctiveness, and provide learning and employment opportunities for local people that are rewarding, physically, mentally and financially.

2. Social

2.1 Social Value

The Strategy seeks to ensure that local people have access to learning, skills development and employment opportunities that match their aspirations, are close to where they live and enable them to increase their earnings and improve their quality of life.

2.2 Equality Issues

Matter considered, no issues identified. However, delivery of the Strategy will require that the impact of individual projects or interventions are considered from an equality perspective.

2.3 Community Safety Issues (Section 17)

Matter considered, no issues identified.

2.4 Human Rights Issues

Matter considered, no issues identified.

3. Environmental

Matter considered, no issues identified.

4. Governance

The proposals contribute to the delivery of many commitments in Platforms for our Places and specifically the following for Our Financial Economies:

Commitment 1.1 - Driving growth in the business sectors across Adur & Worthing

Commitment 1.2 - Enhance our role as a 'trusted partner' for local business

Commitment 1.3 - Develop further our capacity to secure investment, inc building our reputation and maintaining and developing key relationships

Commitment 1.4 - Use the Council's land and buildings to support our financial and social economies

Commitment 1.5 - Champion the development of a learning and skills ecosystem that enables economic growth

Commitment 1.6 - Investment in and delivery of major projects and infrastructure

Commitment 1.9 - Creating places that businesses wish to invest in and sustain

Commitment 1.10 - Supporting the development of the skills and experience necessary to support local business

Commitment 1.11 - Promote an adaptive and creative approach to delivering spaces needed to meet the demands of start-ups and growing businesses

More broadly the Strategy aligns with Local Plans and other Council and partner strategies - existing and emerging.

The development of an evidence-based Strategy in consultation with our partners and local businesses enhances the Councils' reputation and credibility. The issues, opportunities and priorities for the economies of Adur and Worthing are clearly articulated and will help inform the contribution the Councils can make to economic partnerships, and provide a rationale for future investment asks and prioritisation of resources.



ADUR & WORTHING
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Adur and Worthing Economic Strategy 2018 to 2023

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Adur and Worthing: getting set for growth

Adur and Worthing lies at the heart of the South Coast between Chichester and Brighton. Between these two very different cities, Adur and Worthing Councils, together with our partners, are forging a new identity for our area. This will make the most of our strengths as an increasingly popular business location with great transport and digital connections, a popular seaside destination for visitors and a place whose residents enjoy an enviable quality of life.

Companies such as Ricardo, Rayner Lenses and Glaxo Smith Kline, Lemo Electronics, Infinity Foods and Higgidy Pies recognise the advantages of being in Adur and Worthing and a growing number of companies are choosing to locate here. We encourage this growth, and intend to provide an excellent operating environment for business, create more high-value local employment opportunities and ensure the prosperity of our people.

What kind of growth do we want?

This is not about growth at any price; we are committed to “**good growth**” that balances economic success with the best quality of life for our people, sustains our natural assets and the environment and continues to attract increasing numbers of visitors.

Our economic strategy sets out ambitious plans for how we will achieve this good growth. It is based on a rigorous understanding of our economic performance on four main dimensions:

1. **Economic and business performance**
2. **People and work**
3. **Infrastructure and connectivity**
4. **Community cohesion**

The statistical **evidence** which we used as the basis of our analysis is held in a databank. The detailed **analysis** of the data is in two Economic Profiles, one for Adur and one for Worthing. We consulted widely on our **emerging findings** with businesses, stakeholders, partners and Members and asked **three strategic questions**:

1. **How can we achieve balanced growth in a constrained environment?**
2. **How can we capitalise on our place and its positive attributes?**
3. **How can we exploit digital technologies to create a unique competitive advantage?**

¹Platforms for our Places. Adur and Worthing Councils 2017

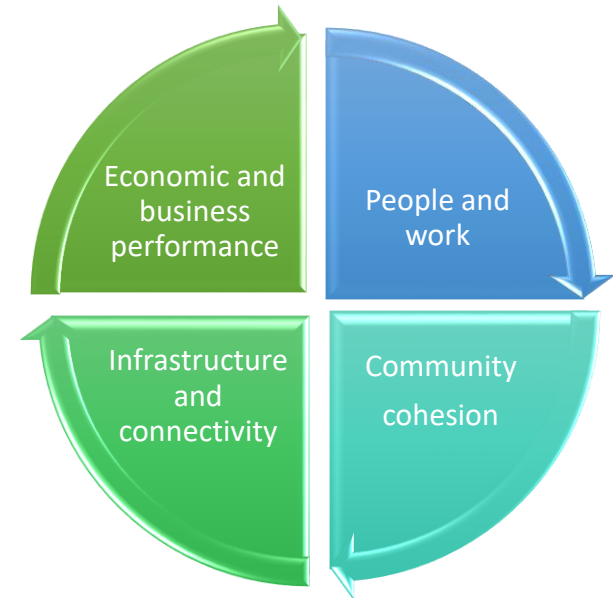


Figure 1: The four dimensions of the evidence base underpinning our analysis

In this Economic Strategy, we identify a small and focused set of priorities where we, working with our partners, can add value and make a real difference. Other initiatives and commitments in other plans such as Platforms for our Places are still very valid but are not repeated here¹.

Our Vision for Adur and Worthing

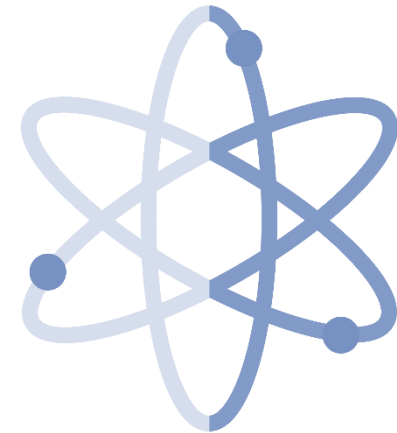
At the heart of our vision for Adur and Worthing is our ambition to create an exceptionally dynamic and distinctive coastal society balancing:

- A growing, resilient and more **productive economy** across Adur and Worthing
- **A high quality of life** for all Adur and Worthing's local communities, including plenty of **rewarding jobs** for our residents, access to high quality **education and training** along with a range of **affordable housing** to rent and buy
- **Digital connectivity** that leads the region and reliable, affordable, **efficient transport** that supports growth and productivity
- A sustainable, **natural and physical environment** of which Adur and Worthing citizens can be proud

and a major say for local people in how this is delivered

Digital transformation

Creating exceptional results to achieve our vision will depend on the smart application of digital technology to unleash the potential of our businesses, people and place and become one of the best-connected communities in the South East.



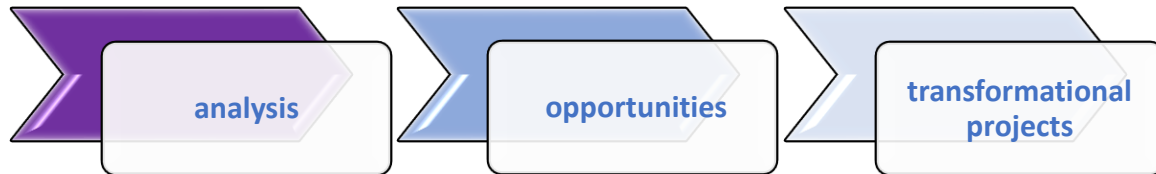
Our model for growth

We intend to **expand our horizons** beyond how the economy is performing to make sure that we achieve the right balance between growth, quality of life and the environment.

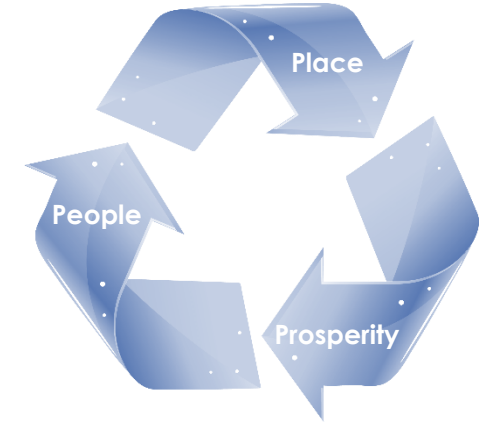
Or to put it another way, we will frame our strategy around achieving transformational outcomes founded on our three Ps of:

- The **Power** of **Place**: creating the environment, sense of identity, culture and infrastructure for success
- **Prosperity** and **Productivity**: building a strong economy with a growing base of high value businesses
- The **Potential** of our **People**: providing a high quality of life including access to skills and jobs

For each of our 3 Ps, we identify the **key strengths and challenges**² in Adur and Worthing. We then draw on the opportunities that exist to help shape our **priorities and interventions** that will make a positive difference. Our Action Plan focuses on a number of **transformational projects** which will deliver “**good growth**” and strengthen the distinctiveness and identities of Adur and Worthing.



The timeframe for our key actions is 2018 to 2023. However, recognising that the next five years are going to be uniquely challenging, our Strategy is set within a longer-term time horizon to 2030.



² Our analysis of is based on the extensive data contained in our databank and the analysis of our performance in our economic profiles.

The Power of Place

The competition for **business investment** is intense and we know we need a strong identity so that we don't lose out to our better-known neighbours, Brighton and Chichester. We aim to create a place that is the **preferred choice for businesses** to locate in, for people to live in and visitors to enjoy. We have challenges facing us but also many opportunities to create a thriving Adur and Worthing, known in its own right as a great place to be.



The Power of Place: key points

- Our **employment space** is under pressure from welcome growth in new and expanding businesses and from competing demands for more housing. Some of our existing industrial areas are outdated and may not attract and retain the sort of high value employment we want to encourage. We need to think big to meet our aims for growth and economic change.
- The **transport infrastructure** problems in our area are well known and affect our competitiveness. Although some improvements are planned, we must continue to press for more. **Digital connectivity** is reasonably good, but our growth ambitions depend on its being exceptional. We have a major opportunity to drive economic change through digital transformation.
- Growing numbers of people want to live in our area and there are some signs of a younger population moving in, but this popularity comes at a price and **housing** is rapidly becoming **unaffordable** for many people. We will take the lead to ensure mixed developments on key sites press ahead rapidly.
- Our **cultural offer** is alive and developing but could be better known outside our area. We can build on the economic and social benefits this offers to grow our **visitor economy** and enhance the **quality of life** for our residents.
- Similarly, our **towns and villages** have much to offer but we need to continue working to establish a **stronger identity**, revitalise our town centres and retail areas, capitalise on major sites in Worthing and improve the public realm to make the most of our assets including the seafront.

Employment space

Our businesses are growing; between 2010 and 2016 our stock of **businesses grew by 17%** compared to a growth rate of 13% in Coastal West Sussex as a whole³. We know from our consultation with businesses⁴ that good quality commercial units are in short supply, much of our existing stock is outdated and there is a lack of premises for expansion and inward investment. In Worthing, we will need an up to 122,940 sq. metres of additional floorspace, by 2023, just over a quarter of which would be offices and the remainder industrial class⁵. In Adur, the demand until 2031 is forecast at 67,162 square metres net⁶. Approximately 40% of this is forecast to be for B1 a/b or office and R&D.

These floorspace requirements could require up to 33 hectares of land to be found, but, in our area, land for development is in short supply and, while we benefit from our attractive coastline and access to the South Downs National Park, we are also constrained by them. Together with the need for substantially more housing, and the accelerated loss of employment space due to Permitted Development Rights (PDR), this adds up to a significant challenge.

Opportunities: We are going to have to think big to **meet current demand** for employment space in our area and supply sufficient **new space** to attract more inward investment and meet our **ambitious growth targets**. Our major sites, including Decoy Farm and Shoreham Airport, could go some way to filling the gap. We will take the lead in **driving these forward** as quickly as possible.



Shoreham Port courtesy of Shoreham Port Authority

³ Source: ONS UK Business Counts Industry. See also Adur and Worthing Economic Profiles for more information

⁴ Consultation workshops September 2017 and also Worthing Economic Research and Employment Land Review April 2016 NLP

⁵ Worthing Economic Research and Employment Land Review April 2016. NLP

⁶ Adur Employment Land Review – update report 2014 GL Hearn

Infrastructure

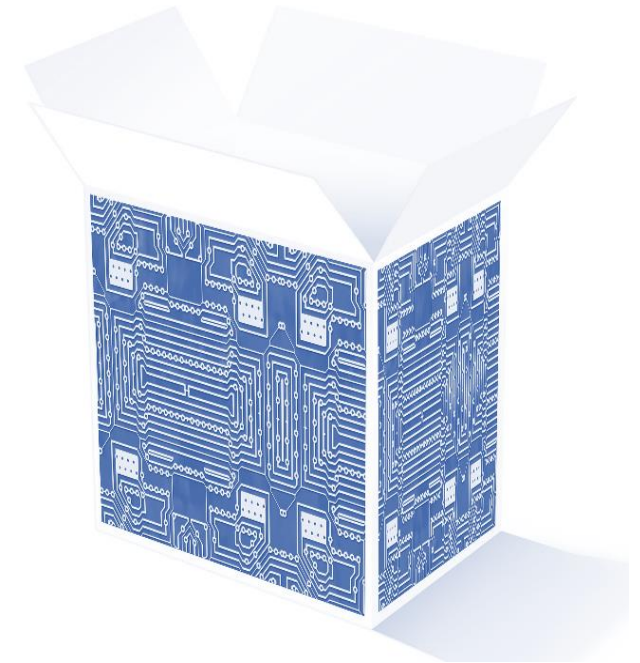
Poor connectivity inhibits economic growth. The weaknesses in the A27 are a factor in the underperformance of Coastal West Sussex. Its dual function, as the only strategic road route along the Coast and also as a local route with multiple junctions, adds to the pressure. Stretches of the A27 in our area are single carriageway. **Congestion, unreliable journey times, and poor air quality** are just some of the results of this infrastructure deficit that our residents and businesses experience. Our rail network is also under strain and operates at capacity at peak times. Journey times along the coast are slow with few through trains.

Opportunities: There are no simple solutions, but a recent consultation has been carried out on **improvements to Worthing and Lancing A27 junctions** with a budget of £50m to £100m⁷. As it seems unlikely that major rail improvements will be undertaken, the A27 will continue to be the main means of travel across our area and as such, it is important for our economy that improvements are secured. Whilst road transport will continue to be of paramount importance, the role of **green alternatives such as cycling and walking** could be extended.

Digital Connectivity

Digital connectivity drives economic performance to a greater extent than ever before. **99% of premises** in our area now have access to **superfast broadband** and achieve average download speeds of **40 megabits per second**. Our mobile voice and data connectivity are generally good within our urban centres although rural coverage is still an issue.

Opportunities: to stay ahead of the game and continue to outperform other parts of the coastal economy, we are leading on the development of **gigabit-speed fibre across our area** to make us one of the best-connected areas in the South East. We intend to **lead the way on digital transformation** for all aspects of our economy.



⁷ A27 Worthing and Lancing Improvements Scheme Public Consultation July to September 2017
Highways England

Housing

Our high quality of life and growing economy means that increasing numbers of people want to live here. Our **population is forecast to grow by 21% by 2039**⁸ giving rise to a need for more than 12,000 new homes in Adur and Worthing by 2030⁹.

This growth is partly a result of “**longshore drift**” as Brighton and Chichester have become more expensive. Demand from the wider south east and London is also apparent in the area, fuelling house price inflation.

Our growing popularity comes at a cost and housing in our area is increasingly becoming unaffordable. In Adur, a mid-priced house now costs over 11 times the median wage¹⁰.

Opportunities: Some of our housing need will be met from **major developments** already in the pipeline but we also need **radical solutions** to meet growing demand; to provide houses people can afford to and to attract a young and diverse workforce.

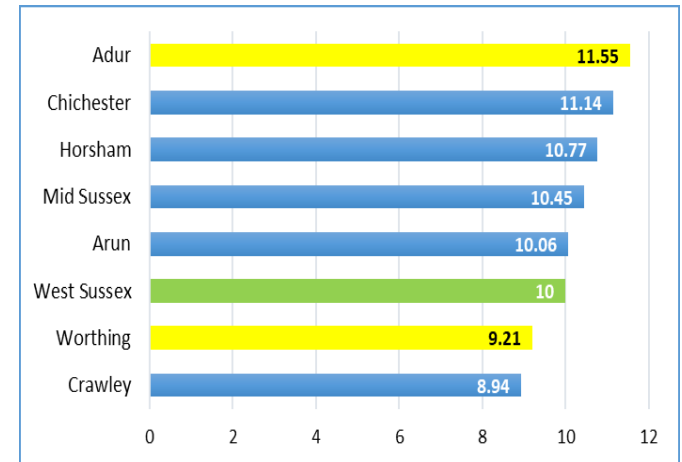


Figure 2: Median House Price to Median Earnings 2016
Source: ONS House Price Statistics Residence Based

⁸ Source: ONS population projections

⁹ Source: ONS What homes where?

¹⁰ Source: ONS Ratio of median house price to median residence based earnings

¹¹ Source: Housing Matters Strategy 2017 to 2020. Adur and Worthing Councils

Culture and heritage

A strong and vibrant cultural offer is vital if we want to attract **visitors** to come to our area, but it is also part of our **identity, sense of place and quality of life for our residents**. In the words of our cultural strategy: "it is much more than a visitor offer, it is about connections, self-expression, relationships and world view." We have **many cultural assets** including theatres, artists and makers, a growing creative industry, a range of festivals, art galleries and museums as well as a rich architectural heritage that includes over 330 listed buildings in Adur and Worthing. There is a **commitment to culture**, but it could be better known outside our area.

Opportunities: Our cultural offer is rich and varied but currently underplayed. There are major opportunities to **build on our vibrant cultural offer to maximise its economic and social benefits**. This could be through, for example, promoting our theatres, festivals and architectural attractions to a wider audience, encouraging our creative sector and supporting the artistic community to help develop a stronger identity for Adur and Worthing.

Our **visitor economy has scope for expansion**, working with partners to broaden our accommodation offer, to promote our underplayed attractions better, to capitalise on our proximity to the South Downs National Park and opportunities for "active tourism" and further develop our evening and night-time economy. Our proximity to Greater London and key air and sea gateways into the UK offer additional opportunities.



Connaught Theatre Worthing



Ropetackle Arts Centre Shoreham

Identity and a sense of place

Our **towns have much to offer** but can lose out to our better-known neighbours, Brighton and Chichester. Town centres are at risk as never before from online and out-of-town shopping, a projected fall in domestic consumption and changing demographics, including the ageing population. **Investing** in our town centres to **create a vibrant experiential offer** and a **strong sense of place** will be crucial. In Adur, Shoreham town centre, the harbour and village centres of Southwick and Lancing need upgrading to provide a more attractive environment. Public access to, and experience of, Adur's many natural assets of river, countryside and coast could also be improved.¹²

In Worthing, there are a number of **major sites in key locations** in the town which are in **urgent need of development** to provide more retail, housing, leisure and commercial space and to radically improve visually sensitive areas of the town. **The seafront**, which is Worthing's major visitor economy asset, requires improvement to the public realm as does the high street where the physical quality of the retail units is often substandard. The visitor experience on entering Worthing by road is compromised by a long inward journey with no clear indications of the distance to, or location of, the town centre and seafront and lacking a 'sense of arrival'.

Opportunities: There are opportunities for **investment and development in Adur** at Shoreham harbour for housing and jobs, at Shoreham airport and at New Monk's farm. **Worthing's key strategic sites** include Union Place, the Civic site, Grafton, Stagecoach and Aquarena, along with Teville Gate. These sites have the potential to **transform the town centre**, increase employment, improve the retail offer and greatly enhance the sense of identity of the town. Defining the visitor journey and **improvements to the seafront** will put **Worthing on the map** as the perfect place to enjoy the great English seaside, taking advantage of the recent renaissance of the British Coast.



Shoreham Harbour



Worthing Beach

¹² Adur Local Plan 2016

Prosperity and Productivity

In our region, fast growth happens along the M25 and the A23/M23 corridors and the coastal economy can get left behind. Economically, **we perform well compared to some of our coastal partners** but not as well as the growth corridor areas, including Brighton and Hove. We aim to make sure we don't get left behind by **developing key sectors** and exploiting new ones, **growing our knowledge economy** and **supporting our businesses to grow** and create high-value jobs.



Prosperity and Productivity: key points

New **business creation** rates are relatively good compared to some of our neighbours, but we have some way to go to match the Coast to Capital Local Enterprise Partnership (LEP) area. The same can be said for **growth in our business base**, although five-year survival rates are better than average for, the LEP area.

While we have **strengths in manufacturing, construction, health and care, arts and leisure and the visitor economy**, there is scope to grow the value of businesses in these sectors. There are opportunities for support and growth, including in manufacturing where high value manufacturing holds the key to future success. We will encourage all sectors to take up and apply technology, skills and innovation to increase productivity.

Our **visitor economy** also has capacity for growth and we can build on our **place, identity and cultural** offer to increase our attractiveness to visitors as well as taking advantage of developments such as Digitourism.

Our **knowledge economy** and tech sectors are small by comparison with neighbouring areas, but we can attract more businesses in these sectors to locate and grow here if we provide the right operating environment.

Similarly, our **productivity** is below average but opportunities to focus on **digital technology, innovation and exporting** could make an impact.

Business Growth

We are relatively **good at creating new businesses**; in 2015, Adur's business creation rate was nearly 12.7% of its stock and in Worthing it was only slightly lower at 12.5%, both outperforming the West Sussex and Coastal West Sussex rates¹³. We have some way to go, however, to match the performance of fast growth areas such as Brighton and Hove (14.3%) and Crawley (16.4%)¹⁴. Both Adur and Worthing's five-year survival rates for new businesses are better than average for Coast to Capital; five-year survival rates for businesses born in 2010 were 43.2% in Adur and 44.3% in Worthing compared to 42.9% for the LEP area.

It is a similar picture on **growth in the business base**; during the period between 2010 and 2016, as we came out of the economic downturn of 2008/9, we saw a **17% net increase in the number of businesses in Adur and Worthing's**, a healthy performance. However, compared to neighbouring Brighton and Hove's increase of 27% over the same period, or the very fast growth areas such as Croydon in the north of our LEP area, we have not done particularly well.

Opportunities: Our performance on business creation, survival and growth is relatively good but we want to do even better. We will need to supply the things that all businesses want, irrespective of sector: a range of good quality **premises**, efficient **transport** infrastructure, ultrafast and reliable **digital connectivity**, access to **people with the right skills**, business to business **networking, supply chains** and **services**.

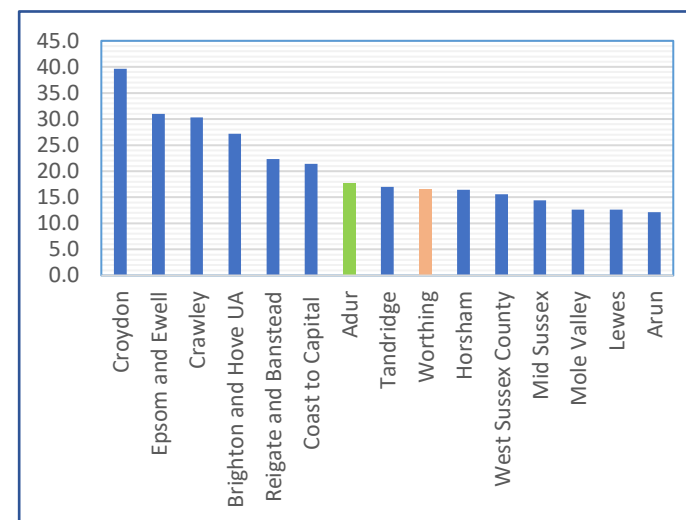


Figure 3: Percentage growth in business stock 2010-16
Source: ONS UK Business Counts: Enterprises

¹³ Source: ONS Business Demography.

¹⁴ Source: ONS UK Business Demography

Our industries

There are notable but **complementary differences** between Adur and Worthing. Our economy is also different from the wider region. **Adur** has significantly more **manufacturing, construction, wholesale, motor trades and mining, quarrying & utilities** businesses while **Worthing is more dependent on services** including professional, scientific & technical, accommodation & food and retail. **Adur** has the **largest comparative share of manufacturing** in our **LEP region** at over 7% of businesses in the District.

Health and care is a growing sector in all areas but is particularly **strong in Worthing**, making up nearly 7% of its total businesses.

We also have strengths in **Arts, Leisure & Entertainment** and **Accommodation & Food**.

Opportunities: Our **large manufacturing base** is a strength that we can build on, particularly in Adur where it is a significant contributor to total output. **High value manufacturing** holds the key to the future success of the sector and we can work university partners in Brighton and Chichester to support Advanced Manufacturing and Engineering.

Our **health and care** sector is vital to our quality of life and is growing and there are opportunities in care to apply **digital and smart technologies** to develop a leading-edge care sector in our area.

Our **marine sector** is small but given our coastline and **Shoreham Port**, we may have opportunities to develop it. Currently a small number of fishing boats use the Port, but following Brexit, the UK is expected to see growth in the fishing industry if, as expected, the UK leaves the 1964 London Fisheries Convention. Leisure marine may also offer room for growth.

The **visitor economy** also offers an opportunity for development given the expected rise in staycations, our strengths in **arts, leisure and entertainment** and the focus of our local partners on developing this sector; as well as our own priorities to improve our destination and identity.

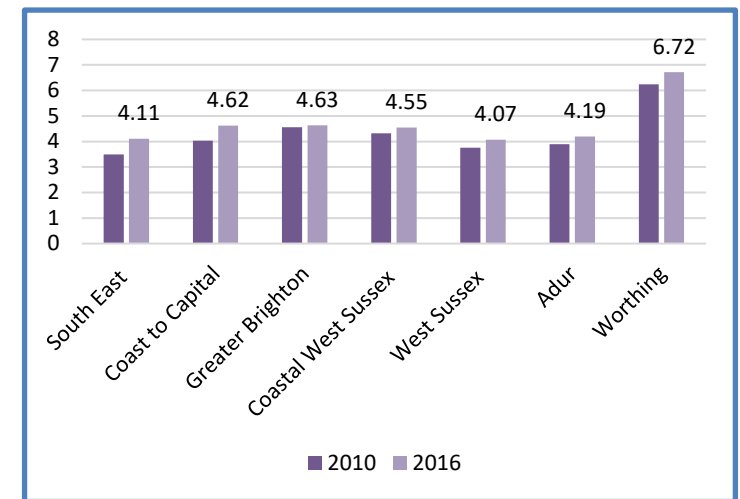


Figure 4: Health sector businesses %age of total 2010-2016

Source: ONS UK Business Counts Industry



Ricardo at Shoreham

Knowledge economy

ONS defines the knowledge economy as: “those businesses that generate wealth by utilising a knowledge specialism¹⁵ “. The knowledge-intensive business base in Adur and Worthing is relatively modest, in spite of the presence of some **global companies** such as Ricardo and Glaxo Smith Klein who fall into this category. In both Adur and Worthing, the **knowledge economy** makes up **10% of businesses**, which is slightly better than Coastal West Sussex as a whole, but notably below its percentage of the business base in the high growth areas along the M25 and A23/M23 corridor. In Brighton and Hove, it accounts for nearly 16% of the total.

The importance of **digital technology** in driving business performance and productivity gains across the economy continues to grow and the **technology sector** is a crucial part of the knowledge economy. Adur and Worthing's **tech sector** businesses are **growing fast** and there is potential to exploit strengths in digital and IT, but we are still behind Greater Brighton and the wider region in the size of our tech sector overall.

Opportunities: Our knowledge economy is growing and will be greatly helped by the provision of more suitable **high-tech premises**, for example at Shoreham Airport and Decoy Farm where we have the opportunity to create leading-edge business parks, as well working with partners to improve skills. Our plans for a **gigabit superhighway** will ensure our businesses have connectivity to match the best, while opportunities for a digital hub in our area will support growth in our tech sector, as well as across the wider economy.

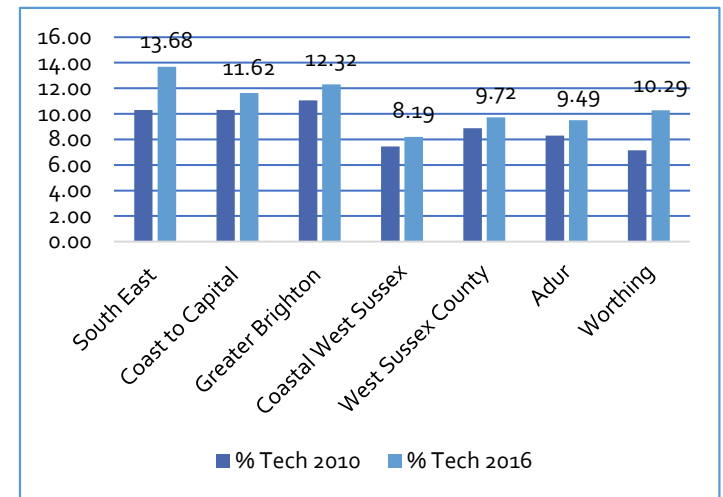


Figure 5: Percentage of businesses in the technology sector (ONS definition) 2010 and 2016.

Source: ONS UK Business Counts: Industry

¹⁵ This includes Medical devices, pharmaceuticals and biotechnology, IT services, communications, computing and advanced electronics, other technical services, aerospace and transport, creative content, software, high tech financial services.

Productivity

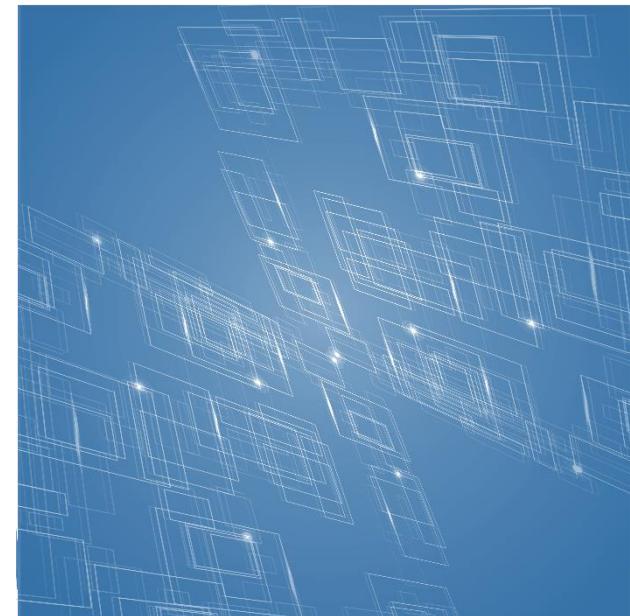
Productivity depends on factors relating to industry sector, levels of investment, application of technology, availability of skills and levels of innovation, as well as market conditions. Productivity tends to be **lower in coastal economies** and, although both **Adur and Worthing** have recently done better in terms of **productivity growth** than Coastal West Sussex as a whole, this has largely been driven by an improving position in Adur.

Adur's productivity grew by more than 15% between 2010 and 2015, whilst Worthing's total output grew by just 1.83% between 2010 and 2015, the lowest growth rate in Coast to Capital. It is a similar story on Gross Value Added (GVA) per head which grew by nearly 11% in Adur over this period but declined slightly in Worthing.

Opportunities: We can't influence many of the factors driving productivity growth but our plans for **ultrafast broadband** will be crucial in helping businesses to innovate and maximise their potential, regardless of sector. We also know that the increasing the proportion of businesses in our more **knowledge- intensive** and **high-value manufacturing sectors** will help.

Exporting businesses tend to be more productive and to grow faster¹⁶ but we know from partners' business surveys that **fewer** of our businesses are **regular exporters**¹⁷. Given the likelihood of increased support for exporting by Government due to the UK's departure from the EU in 2019, we may have an opportunity to support and encourage more businesses to **grow through international trade**. The majority of **Shoreham Port's** trade is currently imports of timber and aggregates. However, there could be opportunities to turn this round and use it as an **export channel**, working with Coast to Capitals' export hub.

Growth will be digitally driven - new research¹⁸ confirms that innovation and particularly digital **technological innovation drives growth**. The Government's recent review of industrial digitisation estimates that the adoption of digital technologies in the manufacturing sector alone could add £455bn to the UK economy¹⁹ over the next decade.



We will be at the forefront of digitally driven growth, not just by putting in the infrastructure but also by using digital technology and innovation to deliver every aspect of our strategy including economic prosperity and business growth.

¹⁶ Source: Attitudes & Barriers in SMEs To International Trade Coast to Capital

¹⁷ Source: Greater Brighton and West Sussex Business Survey 2014

¹⁸ Source: Technological Innovation, Resource Allocation and Growth :May 2016 A. Seru et al.

¹⁹ Source: Made Smarter Review 2017 response to the Industrial Strategy Green Paper

The Potential of our People

Our businesses require a skilled and productive workforce, but we have broader aims for maximising the potential of our people. We aim for all our citizens to have high levels of **well-being and life satisfaction** and to ensure working people have a wide range of **well-paid employment opportunities and skills** to access them.



The Potential of our People: key points

Our **quality of life** on measures of well-being, life expectancy and health is generally high but there are pockets of deprivation, particularly in parts of Adur where evidence supports our priorities for improving education and skills.

Employment rates are high and unemployment is low. Self-employment rates are high in Worthing, possibly reflecting the growing creative sector with its freelance culture.

The **skills** of our working age residents are a matter of concern, particularly at degree level and above (NVQ4+). In Adur, there are additional challenges with lower levels of intermediate skills.

Wages are lower than county and regional averages and there is a higher than average percentage of residents in Adur employed in the least skilled **occupations**.

To attract and grow higher value, more knowledge and technology-intensive businesses, we will need to focus on **improving workforce skills**, particularly **Science, Technology, Education and Maths (STEM) and digital skills**. This will require working with education and skills providers and businesses, particularly in our priority sectors.

Quality of life

Our people generally rate their quality of life highly; in 2016 Adur and Worthing residents gave a score of **7.5 out of 10 for both happiness and well-being**²⁰. In Worthing, life expectancy is broadly on a par with West Sussex at 83 years for females and 79 years for males. It is slightly lower in Adur where it is 80 years for both sexes.

Employment rates are high and **unemployment rates are low**. In 2016, 4.4% of working age people in Adur and 4.0% in Worthing were unemployed.²¹ In spite of our generally good scores on quality of life indicators, there is **some deprivation** in our area. Adur is in the bottom half of England's local authorities on 9 out of 10 deprivation indices and the bottom quintile for education and training. Worthing is ranked in the bottom half on five out of 10 measures. **Crime rates are lower** than in Coast to Capital, particularly in Adur; there were 63.6 crimes per 1,000 population in the LEP area in 2016, while in Adur there were 49.1 and in Worthing, there 62.7 per 1,000 population.

Opportunities: We can be proud of the quality of life we have on offer and continue to promote it as a reason for businesses and skilled people to locate here. The relative deprivation in Adur supports our argument for a move to a higher wage higher skills economy and the relatively higher crime rates in Worthing suggest we may need to do more to develop the evening economy and make the town centre safer.



²⁰ Source: ONS Measuring National Well Being Statistics 2016

²¹ Source: ONS Unemployment statistics model based.

Our workforce

We do well on **employment**. Both Adur and Worthing's employment rate is just over 80% of those of working age in 2016/17, similar to West Sussex, higher than the South East rate of 78% and **significantly above Brighton & Hove's** employment rate of 74.4%.

Workers in Worthing are relatively entrepreneurial with **1 in 5 people** of working age being **self-employed**, perhaps reflecting a higher proportion of creative occupations. By comparison, Adur's self-employment rate of 14.8% of the working age population is below the West Sussex average of 16.1% as at 2016²²

Opportunities: Our high employment rate is a sign of a relatively strong economy and a **work-orientated and employable resident population** which is a draw for businesses wishing to locate in our area. High employment and low unemployment mean that employers may struggle to recruit new people which could make them more receptive to taking on Apprentices and upskilling their workforces.

Our good track record on **self-employment** gives an opportunity for us to encourage more self-employed people to **set up companies** and grow their businesses.

Workforce skills

A skilled and productive workforce is one of the most important parts of our offer to businesses and a crucial element in getting more businesses to locate here and grow. In **Worthing**, working age residents are relatively **well qualified at the lower and intermediate levels**, NVQ 1+ and NVQ 2+ and NVQ3+. However, in Worthing achievement falls away at Level 4+, degree level and above, although there are signs that this is improving with an increase of 8.7% in higher level qualifications in the last five years. In **Adur**, working age residents are **less well qualified at both intermediate levels** (NVQ2+ and NVQ3+) and significantly less well qualified at **higher levels** (NVQ4+).

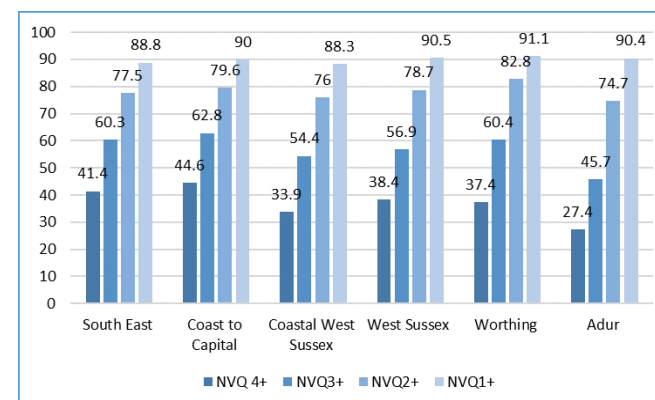


Figure 6: Qualification levels by percentage of working age population in 2016:

Source: ONS Annual Population Survey

²² Source: ONS Annual Population Survey

Unfortunately, in Adur the last five years has seen only a small (1.1%) increase in the percentage of residents achieving a higher-level qualification, the lowest rate of increase in Coast to Capital. This indicates a low skills economy in Adur, perhaps with weaker demand for higher level skills from the business base.

Opportunities: There are signs that shortages of intermediate and higher level skills, particularly STEM skills, are already constraining growth in our area. There is an opportunity to work with partners, including universities and colleges with dedicated facilities, to upskill the workforce to meet the needs of the higher value businesses we want to attract.

Wages

There is a correlation between wages and skills/qualifications levels and **Adur and Worthing residents** have **lower wages** than the county or regional averages. **Workplace wages** are also **lower** than residence based earnings, highlighting the need to increase productivity and grow high value jobs in the economy. Adur and Worthing residents with high level skills are likely to be commuting out of the area to higher paid employment.

Occupations

Worthing has a higher than average percentage of residents employed in **Professional, Associate Professional and Technical occupations** (Groups 2 and 3)²³ and a lower than average percentage employed in Caring, Leisure and Other Service Occupations (Group 6). This correlates with the findings for wages and skills/qualifications and indicates that many of the **lower paid service jobs** are filled by **in-commuters**. In comparison, **Adur** has a high percentage of residents employed in **Caring Leisure and other Service Occupations** (Group 6) and a lower percentage in Associate Professional and Technical occupations, (Group 3). This is consistent with Adur's lower skills profile.

²³ Key to occupational groups

Group 1: Managers, Directors and Senior Officials;

Group 2: Professional Occupations;

Group 3: Associate Professional and Technical Occupations;

Group 4: Administrative and Secretarial Occupations;

Group 5: Skilled Trades Occupations

Group 6: Caring, Leisure and Other Service Occupations

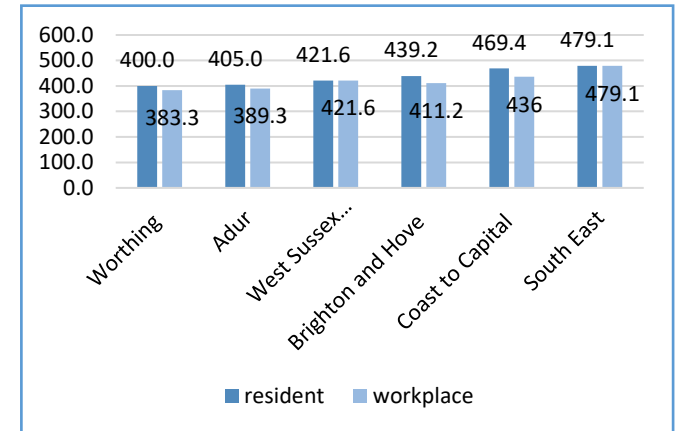


Figure 7: resident and workplace wages £s 2016
Source ONS Annual Survey of Hours and Wages

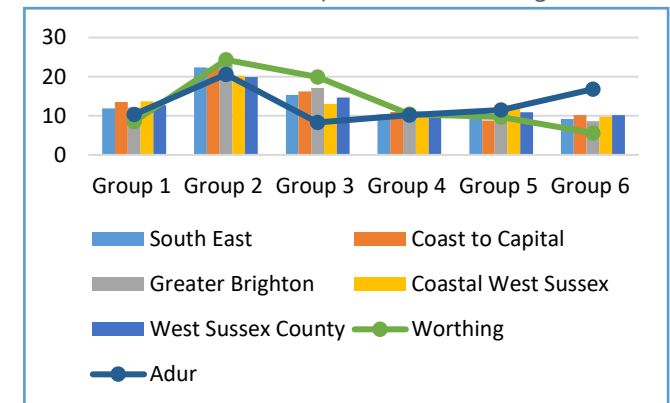


Figure 8: Employment by Occupational Group 2016.
Source: ONS Annual Population Survey

Action Plan: three transformational solutions 2018-2023

Adur and Worthing, individually and together, have strengths and challenges. Our analysis has drawn out the priorities and opportunities that exist, and informed our proposals for a small number of transformational solutions which we will work to deliver over the next five years²⁴. These proposals help answer the three strategic questions that emerged early in the process²⁵ and will ensure that we address our priorities for Place, Prosperity and People in a coherent way. Our three transformational solutions will provide a shared focus for work with our partners, positively align with other plans and strategies, and ensure that individual actions are mutually-reinforcing and provide a benefit that is greater than the sum of the parts. Our solutions will enhance the distinctiveness and identity of our places, build momentum and resilience, and inspire businesses, partners and our people to join in and help drive change.

Superconnected Worthing

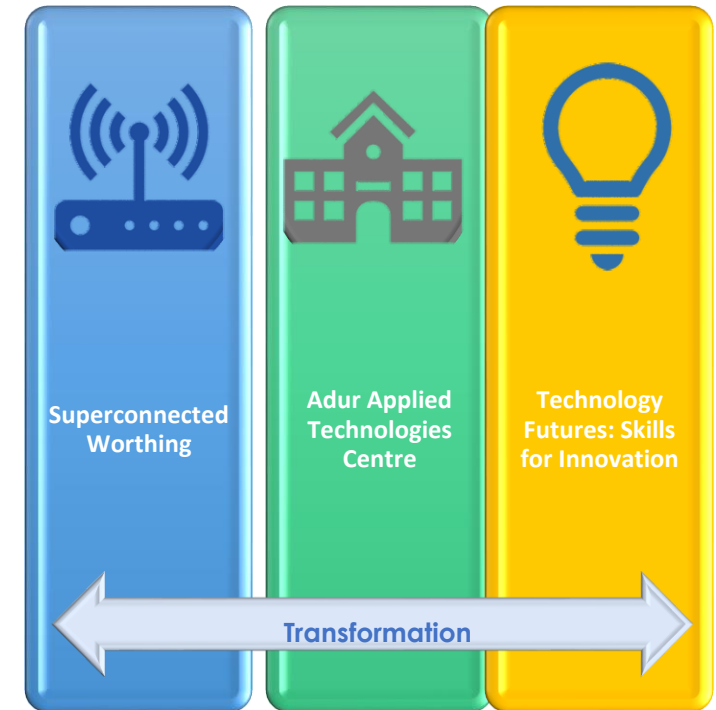
Through providing gigabit-speed digital infrastructure and imaginative collaborative space for digital and creative companies in the heart of Worthing, we will accelerate the changing identity of the town to make it a leading edge, vibrant exciting place to be.

Adur Applied Technologies Centre

We will develop our industrial areas in Adur to take advantage of our manufacturing strengths to drive growth and productivity, increase exporting and stimulate innovation through applied technologies.

Technology Futures: Skills for Innovation

We will champion the development of a learning and skills ecosystem that enables economic growth by increasing the uptake, quality and application of skills, particularly Science, Technology, Engineering and Maths (STEM) skills at intermediate and higher levels.



²⁴ Our Action Plan will be monitored, and progress reviewed annually, to accommodate change and respond to new opportunities as they emerge.

²⁵ The three strategic questions are:

1. How can we achieve balanced growth in a constrained environment?
2. How can we capitalise on our place and its positive attributes?
3. How can we exploit digital technologies to create a unique competitive advantage?

Superconnected Worthing

Businesses are reinventing themselves through the application of digital technology giving rise to new business models, utilising the “big four” digital innovations of mobile, social media, cloud and big data. Platform-based businesses are changing the shape and structure of the economy through new ways of adding value, for example Uber, the taxi company with no vehicles, Amazon, the global retailer with no shops and Airbnb, the holiday letting company with no property. Our Economic Strategy is based on the idea of progress through digital transformation and we will lead the way in Worthing to create a place that has innovation and digital technology at its heart.

Through providing ultrafast digital infrastructure and imaginative collaborative space for digital and creative companies in the heart of Worthing, we will accelerate the changing identity of the town to make it a leading edge, vibrant exciting place to be.

Current state 2018	Target State 2030
<ul style="list-style-type: none"> • A small but growing creative and digital sector in Worthing • Colonnade House pilot creative space is beginning to become known as a creative and digital hub. • Good digital connectivity but not outstanding • Plans for gigabit-speed fibre and 5G test bed 	<ul style="list-style-type: none"> • A large creative and digital sector which is part of Worthing's new identity, attracting more businesses to locate and more skilled people to live here • Significantly extended digital creative space at the heart of the town and reaching out to the seafront, increasing the appeal of the town as a vibrant, exciting place • Ultrafast broadband and 5G mobile lead makes us the place to be for business innovation, growth and productivity
Key actions 2018 to 2023	
Extend Colonnade House creative hub to increase employment space and enable creative and digital businesses to locate in the town centre	
Support planning applications and further use of our own buildings to support open innovation, new business models and collaborative workstyles	
Establish a Digital Hub and network, to provide specialist business support for creative, digital and other priority sectors	
Install ultrafast broadband to drive a new wave of growth and enable public and private sector transformation	
Work with partners, including Greater Brighton, to develop a 5G outdoor testbed in Worthing as part of the Government's 5G Innovation Network	
Ensure improvements to the public realm incorporate and accelerate innovation and connectivity, to support town centre regeneration and the visitor experience	
Deliver the vision in our Seafront Investment Plan, connecting spaces, enhancing our cultural offer and creating an enviable quality of life that strengthens identity and distinctiveness	

Adur Applied Technologies Centre

All businesses need a digital strategy or risk being out of business as technological advances continue to drive seismic shifts in the economy. Our large manufacturing sector offers a transformation opportunity to move to advanced manufacturing through the application of technology, innovation and skills. Adur has a number of employment locations suitable for encouraging clustering that could provide on-site specialist skills and innovation support. Shoreham Port, currently almost exclusively import-based, could provide export opportunities for advanced manufacturing and engineering businesses if the right linkages are made.

We will develop our strength in manufacturing to drive value, growth and productivity, increase exporting and stimulate innovation through applied technologies

Current state 2018	Target State 2030
<ul style="list-style-type: none"> • Our manufacturing sector is larger than average but is not highly productive and many small and medium enterprises (SMEs) operate in low tech markets • Advanced, high value manufacturing and engineering is underdeveloped although there are some leading edge and global companies here • There are a number of business parks that require upgrading and reconfiguration to make best use of space. Shoreham airport, in particular, lacks good quality high tech accommodation, although there is scope for expansion and re-use of space here. 	<ul style="list-style-type: none"> • A Centre for Applied Technologies has been established in Adur, offering access to incubation space and testing facilities for new and growing businesses • Links to universities with Advanced Manufacturing research and innovation expertise are embedded • Specialised business support provided on-site, with businesses transitioning to higher value manufacturing and lean production through regular use of Knowledge Transfer Partnerships, networking, investment advice and links to STEM skills providers • Adur is known for achieving exceptional growth in high value manufacturing, attracting more investment and growing its distinct identity
Key actions 2018 to 2023	
Develop and implement a clear and agreed strategy to sustain and grow high value manufacturing at Shoreham Airport, including links with Northbrook MET's specialist onsite aeronautical and automotive training centre	
Work with partners, including Universities, to create a specialist business support offer. To include: Knowledge Transfer Partnerships, innovation support and high level STEM skills provision	
Promote and facilitate business access to specialist support, encouraging the transformation of business and manufacturing processes to drive high value growth, clustering and supply chain efficiencies	
Explore opportunities to facilitate investment in new and upgraded manufacturing floorspace on existing business parks and/or the creation of incubation space(s) and testing facilities in locations across Adur	
Proactively promote Adur as a destination for innovative and high value manufacturing	
Work with partners and businesses to maximise export opportunities, including through the Port	

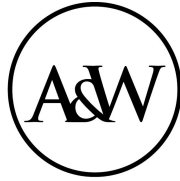
Technology Futures: skills for innovation

The knowledge economy is an increasingly significant driver of productivity and growth; since 1978 it has contributed 66% of all UK growth and 7.3m new jobs²⁶. Employment in the knowledge economy means greater demand for more knowledgeable and highly skilled workers. We have an opportunity to transform skills in our area through increasing employer engagement and forging strong links with universities, colleges and specialist providers to increase skills provision, distribution and exchange of knowledge and ensuring that there are sufficient Science, Technology, Engineering and Maths (STEM) skills in the workforce.

Current state 2018	Target State 2030
<ul style="list-style-type: none"> • Our workforce skills levels are too low, particularly at degree level and above and also at intermediate and technical level • There are signs of a low wage low skills economy in some areas and sectors in Adur and Worthing • Higher value businesses report skills shortages, particularly in STEM subjects • Although we have good FE provision in our area and access to universities nearby, strategic links and employer dialogue could be better • STEM subjects in some of our schools are not attracting sufficient numbers of students 	<p>A healthy, self-reinforcing skills “ecosystem” characterised by:</p> <ul style="list-style-type: none"> • Rising workforce skills which match the regional average at intermediate and higher level. • Accessible STEM skills provision for all, particularly technology skills, and greater take up of STEM skills in our schools and education institutions • Increased skills in our key sectors, AME, tourism and hospitality, care, construction and retail through more effective and relevant provision • Knowledge Transfer Partnerships and other initiatives provide strong linkages between businesses, universities and research institutes.
Key actions 2018 to 2023	
Explore the potential to trial new approaches to skills development and learning, particularly in relation to the application of digital and applied technologies	
Develop initiatives that target funding, resources and expertise to help businesses upskill their workforces, including through better awareness and use of apprenticeships	
Support the expansion of STEM outreach activities, working with partners to inspire and encourage more young people to pursue STEM subjects and careers	
Work with Further and Higher Education institutions to develop skills for our key sectors and facilitate business awareness and participation in Knowledge Transfer Partnerships	

We will champion the development of a learning and skills ecosystem that enables economic growth by increasing the uptake, quality and application of skills by learners of all ages, and particularly Science, Technology, Engineering and Maths (STEM) skills at intermediate and higher levels.

²⁶ The UK Knowledge Economy C Levy The Work Foundation



ADUR & WORTHING
COUNCILS

Joint Strategic Committee
5 December 2017
Agenda Item 11

Key Decision [~~Yes~~/No]

Ward(s) Affected: All

Delivering our Housing Strategy - the draft Adur and Worthing Community Homelessness Strategy

Report by the Director for Communities

Executive Summary

1. Purpose

- 1.1. To set out the plans of the Councils and its partners to work collaboratively to tackle the increase in homelessness in Adur and Worthing.
- 1.2. The Councils' objective is to place our customers and communities at the heart of delivering homelessness prevention initiatives, and draw on the expertise within our communities.
- 1.3. To request that Members of the Joint Strategic Committee recommend the adoption of the Community Homelessness Strategy, to Adur District and Worthing Borough Councils, with immediate effect.

2. Recommendations

- 2.1. The Joint Strategic Committee is asked to recommend to both Adur District Council and Worthing Borough Council the adoption of the Community Homelessness Strategy.

3. Context

- 3.1. Homelessness is not just a housing problem. Not having a decent home adversely affects all areas of a person's life - from their health, to their achievement at school if they are a child, and their ability to get work if they are an adult.
- 3.2. Adur and Worthing have seen a rise in the number of people presenting homeless. This has resulted in an increase in the demand for temporary accommodation. The number of households in emergency accommodation has increased by more than 35% over a 14 month period for both Adur and Worthing. As at April 2016, there were 60 (Adur - 20, Worthing - 40) households in all temporary accommodation. At the end of June 2017, there were 98 households (Adur - 31, Worthing - 67).
- 3.3. Compared with prevention, homelessness is costly. Not only in terms of cost to the Councils, our communities and the taxpayer, but critically in term of consequences and outcomes for the individuals and families affected.
- 3.4. Early identification and intervention is important to increasing the chances of successfully preventing homelessness, and this is reflected in the aims of the new Homelessness Reduction Act 2017. This Act places a duty on local authorities to
 - Take steps to prevent homelessness: The Councils will have to help people at risk of losing suitable accommodation as soon as they are threatened with homelessness within 56 days.
 - Take steps to relieve homelessness: The Councils will have to help all those who are homeless to secure suitable accommodation, regardless of whether they are 'intentionally homeless' or priority need.

4. The Community Homelessness Strategy 2017 – 2021

- 4.1. This Community strategy has been developed collaboratively with partners and stakeholders across Adur and Worthing via the Homelessness Forum. It reflects the common goal to identify individuals and families at risk of homelessness as early as possible and put in place appropriate intervention to help them sustain or secure suitable accommodation.

- 4.2. Preventing homelessness is everyone's business, it can not be achieved by the Councils on its own. This strategy is an agreed approach across Adur and Worthing to more effectively use the knowledge, expertise and resources of partners and agencies to prevent homelessness.
- 4.3. It aims to build on the multi-agency and partnership work already in place to prevent homelessness, mitigate the effects of welfare reform and promote the health and wellbeing of our communities. It contributes to joint approaches to improving health and wellbeing by developing a more systematic approach, enabling services to integrate more easily, and to reduce gaps and duplication. It will also assist the Councils to better discharge its functions under the new Homelessness Reduction Act.
- 4.4. This strategy will be overseen by the Adur and Worthing Homelessness Forum which is a partnership of both statutory and voluntary organisations in Adur District and Worthing Borough.
- 4.5. The Community Homelessness Strategy 2017 – 2022 has three key priorities:
- Priority 1 - Maximising opportunities to prevent homelessness through an enhanced housing options provision.
We want to build on the resilience in our community by increasing the opportunities individuals and families have to access advice and assistance to prevent homelessness.
 - Priority 2 - Creating strong partnerships to tackle homelessness
We want to identify those at risk of homelessness as early as possible and work with them to remove or reduce this risk. This requires more agencies being involved in identifying the risk of homelessness among those they support and work collaboratively to manage such risk.
 - Priority 3 - Reduce the risk of single people sleeping rough
We want to eliminate the need for anyone discharged from an institution needing to sleep on the streets and reduce the risk of vulnerable people sleeping rough
- 4.6. These priorities advance the Councils' strategic and operational commitments as set out in our Housing Strategy 'Housing Matters' and Platforms for our Places. The three priorities in this strategy are

designed to place our customers and communities at the heart of our services, and draw on the expertise across the Councils and within our communities to create new opportunities to prevent homelessness (Platform 3 - Social Economy and Platform 4 – Services and Solutions for our Places).

- 4.7. The action plan will be monitored by the Homelessness Forum who will be responsible for ensuring the actions and outcomes contained in the action plan are implemented.

5. Engagement and Communication

- 5.1. Two multi agency focus groups were held in May and June as part of the consultation into this strategy.
- 5.2. Interviews took place with residents who had experienced homelessness as part of the “Preventing Homelessness Project” and will continue to inform the work we undertake across our partnership.
- 5.3. The development of strategy has been overseen by the Homelessness Forum, which is a partnership of both statutory and voluntary organisations in Adur District and Worthing Borough.
- 5.4. The following key points came out of the consultation
 - a multiagency approach is key to early identification and early intervention to increase the chances of preventing homelessness especially among households with complex needs
 - more should be done to prevent evictions in the first place
 - first points of contact in all agencies should have the necessary skills and information to identify those at risk of homelessness and intervene
 - the way to access homeless prevention services needs to be clearer and more structured
 - better information sharing is important to help manage expectations among the community and help them focus on what is achievable.

6. Financial Implications

- 6.1 The initiatives contained within the strategy will be accommodated within revised approved budgets.

7. Legal Implications

- 7.1 The Homelessness Reduction Act 2017 has received Royal Assent and is expected to come into force by way of secondary legislation in April 2018. It significantly amends the statutory duties placed on Local Authorities in respect of their homelessness duties under the Housing Act 1996 Part VII.
- 7.2 Primary changes include the duty to carry out a written assessment in respect of every homeless applicant regardless of whether there is any priority need or possible intentional homelessness; this assessment must be in writing and where possible agreed with the applicant. The duty is a continuous one. Further the Councils' duty is triggered at an earlier stage so there will be a need to assist those threatened with homelessness where they have received a valid section 21 Housing Act 1988 notice which will expire within 56 days thereafter. Further the Councils' duties in respect of providing an advisory service are strengthened in the Act.

Background Papers

- Previous Reports - particularly where related decisions were made.
- Strategy / Policy Documents
- Guidance Documents

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Sustainability & Risk Assessment

1. Economic

- The actions in this policy will contribute towards the Councils' effort to reduce the use of temporary accommodation which is costly. It will also contribute to the efforts of other agencies to improve financial resilience and wellbeing in the community.

2. Social

2.1 Social Value

- Homelessness exacts a personal cost to those who endure it. In addition to the trauma and the emotional duress that can accompany the precipitating events of one's loss of housing, it can mark the beginning of a steep downward spiral. The unique distress of lacking a settled home can cause or intensify social isolation, create barriers to education, training and paid work and undermine mental and physical health. The impact on children can be more profound and long lasting.
- Identifying those at risk of homelessness earlier and putting in place appropriate intervention apart from increases the chances of sustaining their accommodation improves their general wellbeing,

2.2 Equality Issues

- An Equality Impact Assessment is being conducted as part of this strategy

2.3 Community Safety Issues (Section 17)

- The Community Homelessness Strategy aims to promote sustainable communities and to prevent and address homelessness. It also aims to reduce the number of those sleeping on the streets and reduce the number of vulnerable residents losing their homes.

2.4 Human Rights Issues

- The Community Homelessness Strategy will support the Council to protect citizen's rights to respect for private and family life, home and correspondence (Article 8 of the European Convention on Human Rights).
- The strategy will also assist the Councils' to support its citizens to avoid social exclusion, discrimination and loss of dignity
- This strategy will assist the Councils to support its citizens to achieve quiet enjoyment of their property and possessions by supporting the residents to maintain their existing accommodation wherever possible or work towards securing another suitable accommodation

3. Environmental

- Matter considered and no issues identified

4. Governance

- This strategy will contribute to Platform 4 of Platforms for our Places. It will place our customers and communities at the heart of our services, and draw on the expertise across the Councils and within our communities in designing new solutions to prevent homelessness.
- The strategy also contributes to one of the four key areas (Preventing Homelessness) of the Councils Housing Matters Strategy 2017- 2020
- The strategy, which will be jointly own with the community will enhance the Councils' collaborative efforts with key partners and stakeholders within the community to tackle homelessness which is a growing problem
- The Strategy will be overseen by the Adur and Worthing Homelessness Forum which is a partnership of both statutory and voluntary organisations in Adur District and Worthing Borough.

Community Homelessness Strategy

2017 - 2022

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1.0 INTRODUCTION

Homelessness is not just a housing problem. Not having a decent home adversely affects all areas of a person's life - from their health, to their achievement at school if they are a child, and their ability to get work if they are an adult. Conversely, if they are struggling with their health or their employment, this may in turn affect their housing needs and the security of their home.

Homelessness can affect everyone. Stable situations can quickly change due to domestic violence and abuse, unemployment and relationship breakdowns, to name a few. In many cases people find their own solutions, often with the help of friends and family, whilst others need support due to underlying health problems and lack of financial resources.

Tackling homelessness remains a key priority in Adur and Worthing. Compared with prevention, homelessness is costly. Not only in terms of the consequences for the individuals involved but also to local communities and the taxpayer. Early identification and intervention is important to increase the chances of successfully preventing homelessness. Identifying the support and skills individuals and families need to attain and sustain accommodation requires a holistic and collaborative approach, with multi-agency assessments and action planning where appropriate

The Homelessness Act 2002 requires local authorities to carry out a review of homelessness and homelessness services in their area, and to formulate and publish a homelessness strategy based on this review.

This strategy has been developed collaboratively by partners and stakeholders within Adur and Worthing community through the Homelessness Forum. The strategy reflects the common goal to identify as early as possible, individuals and families at risk of homelessness and put in place appropriate intervention to help them sustain or secure suitable accommodation.

This strategy aims to build on the multi-agency and partnership work already in place and also where possible, to mitigate the effects of welfare reform and its impact on homeless households.

This strategy contributes to the Joint Health and Wellbeing Strategy¹ to develop a more systematic approach so that services can integrate more easily, and to reduce gaps and duplication. This strategy will be overseen by the Adur and Worthing Homelessness Forum which is a partnership of both statutory and voluntary organisations in Adur District and Worthing Borough.

¹ West Sussex Joint Health and Wellbeing Strategy 2015-2018, Priority 2 - Wellbeing and Resilience

2.0 THE POLICY & LEGISLATIVE BACKGROUND

The strategy has been developed against a backdrop of unprecedented change in national policy.

2.1 ‘Making Every Contact Count: A Joint Approach to Preventing Homelessness’

This is the Government’s cross-departmental report on tackling homelessness through early prevention and integrated services. Published in 2012, it sets out the Government’s approach to tackling the causes of homelessness focusing on prevention, early intervention and a local response. The report includes ten local challenges for local authorities to meet to achieve the highest homelessness standards. The challenges have been adopted and developed into a framework by the National Practitioner Support Service (NPSS).

2.2 The Homelessness Reduction Act 2017

The new Homelessness Reduction Act 2017 builds on both the Housing Act 1996 and Homelessness Act 2002. The new Act goes further and requires local housing authorities to help all eligible applicants – rather than just those with a ‘priority need’. It builds on the preventative approach in the 2002 Act, by requiring named public authorities to notify the housing authority if someone they are working with is facing homelessness. In addition to the duties under Part 7 of the Housing Act 1996 (as amended), local authorities now have two new duties

- Duty to take steps to prevent homelessness: Councils will have to help people at risk of losing suitable accommodation as soon as they are threatened with homelessness within 56 days.
- Duty to take steps to relieve homelessness: Councils will have to help all those who are homeless to secure suitable accommodation, regardless of whether they are ‘intentionally homeless’ or priority need.

2.3 Welfare Reforms and the introduction of Universal Credit

Welfare reforms policies are the single biggest influence on most partners’ service delivery over the next five years. The reforms will have significant implications for all homelessness services in Adur District and Worthing Borough including

- Additional costs incurred including temporary accommodation costs, housing management, children’s services etc.
- Families having to move homes either within local area or out of local area
- Larger families forced to move to smaller accommodation
- Increased debt and rent arrears leading to increased risk of eviction and housing management risks in terms of poor rent collection

3.0 LOCAL CONTEXT

3.1 Housing Demand

In recent years we have seen an increase in the demand for and the cost of housing in the private rental sector, private ownership, and public/social housing sector across Adur and Worthing. Market pressures (in particular growing house and rental prices) and government policies are presenting challenges for the Councils and our partners to meet this growing need within our community. Population increases and migration, combined with limited supply have seen rents and house prices increase.

Adur & Worthing Councils (AWC) have attempted to address this through their respective Local Plans - however land constraints mean that the Councils are not in the position to meet Objectively Assessed Need (OAN).

The full OAN for Worthing to 2033 is 12,720 dwellings or 636 per year, which would represent a 25 per cent increase in dwellings in 20 years. The annual housing need figure for Worthing increases to 865 dwellings per annum. It should be noted that the average level of housing delivery over the last 5 years is 280 dwellings per annum.

The OAN for Adur is 325 dwellings per annum (6,825 dwellings 2011-2032). Due to constraints, the Adur Local Plan indicates a delivery target of 3,718 dwellings (177 dwellings per annum) from 2011-2032. The annual average delivery rate from 2011/12 - 2015/15 has been 121 dwellings per annum gross (112 dwellings per annum net).

3.2 Homelessness

Adur and Worthing have seen a rise in the number of people presenting homeless. This has resulted in an increase in the demand for temporary accommodation. Between April 2016 and March 2017, AWC made 321 statutory homeless decisions (Adur 81, Worthing 240). Of these,

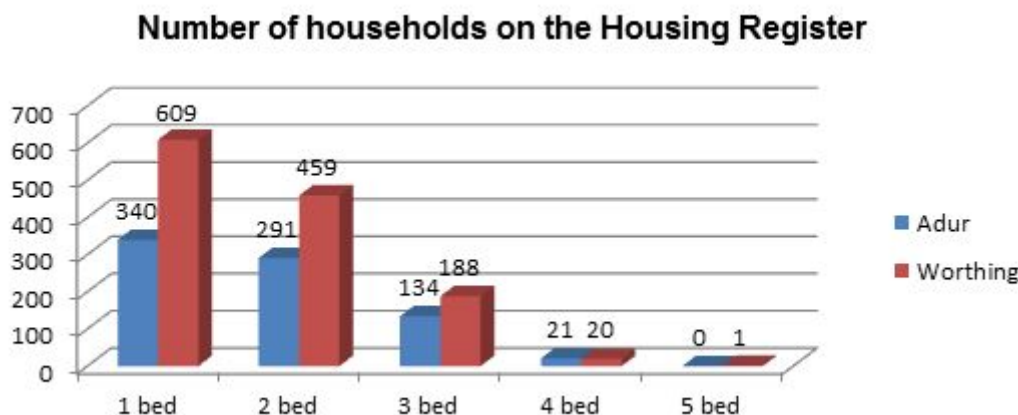
- 119 were accepted as owed full housing duty (Adur 31, Worthing 88)
- 37 were found to be intentionally homeless (Adur 7, Worthing 30)
- 96 were found not to be in priority need (Adur 27, Worthing 69)

The table below is a breakdown by household type of those accepted as owed the main housing duty.

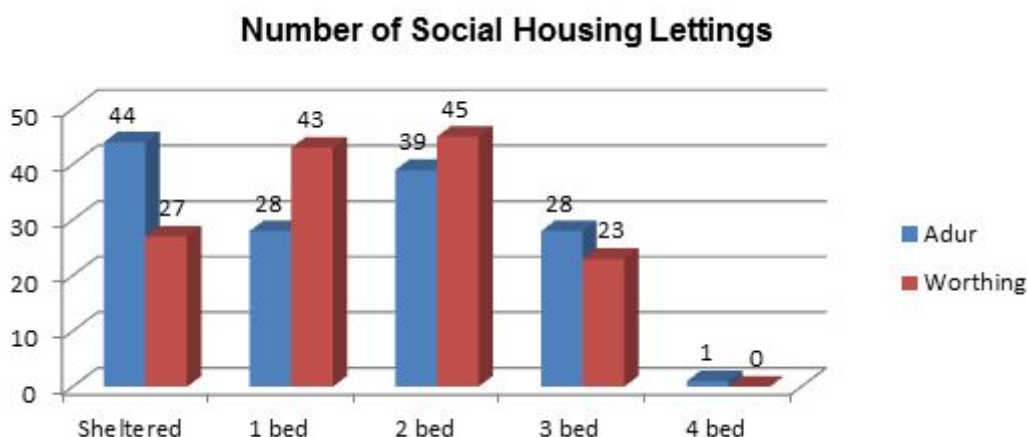
Household Type	Adur	Worthing	Total
Couple with dependent children	11	15	26
Lone parent household with dependent children	14	52	66
Single person household	6	19	25
All other household groups	0	2	2
Total Accepted households	31	88	119

3.3 Demand for social housing

Housing Services processed 576 new applications for the housing register in 2016/17. Of these applications, 183 were from Adur and 393 were from Worthing.



The graph above shows the number of households on the housing registers as at 23.05.2017. There were 786 households on Adur District's register and 1277 on Worthing Borough's housing register.

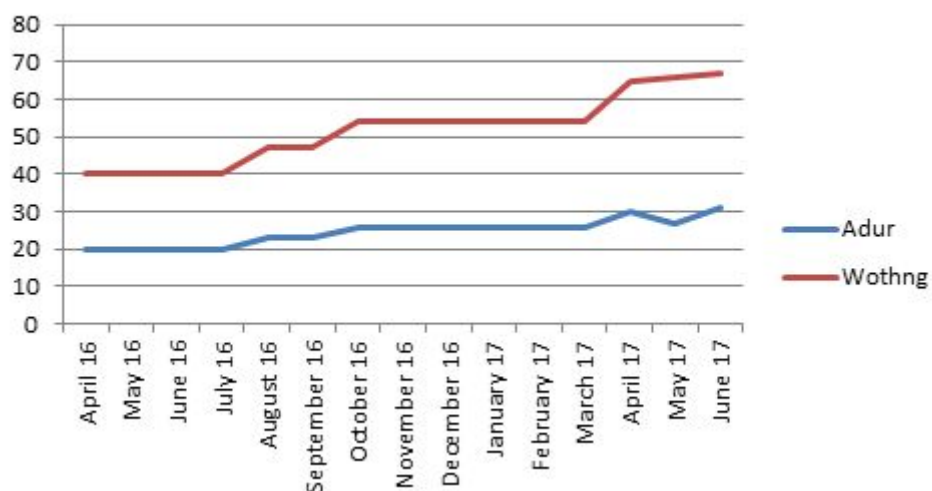


More than half of those on each register have a one or two bedroom need. In 2016/17, AWC let 259 properties through the both councils' housing registers (Adur – 127, Worthing 132). The table above shows a breakdown of these lettings.

3.4 Temporary Accommodation

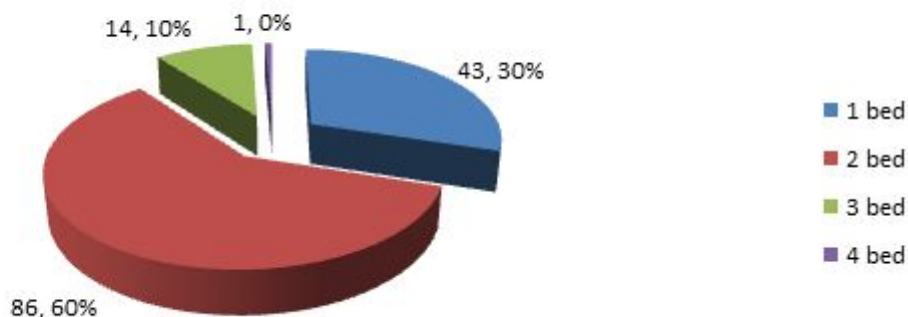
There has been a significant increase in the number of households presenting homeless on the day, resulting in an increase in demand for emergency accommodation. For these households, prevention is almost too late when they present. Households in emergency accommodation have increased by an average of 35% over a 14 month period for both Adur and Worthing.

Households in emergency accommodation



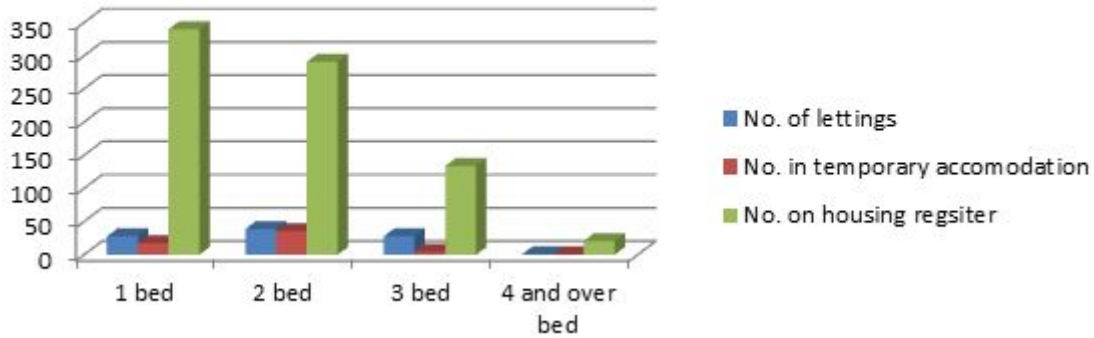
Households are staying longer in temporary accommodation while they wait for social housing. The demand for social housing is significantly more than the supply available. Some households only bid on a limited choice of areas, while some will only bid for houses but not flats.

Bedroom size need of households in temporary accommodation in both Adur and Worthing

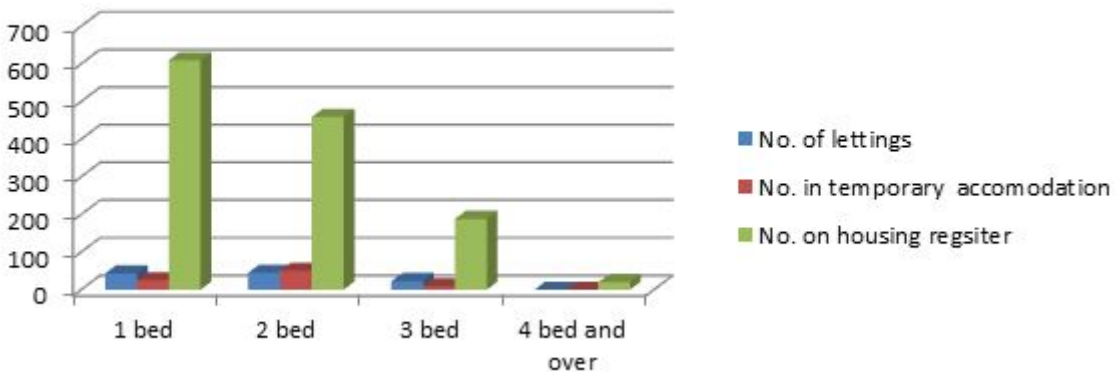


As at 23.05.2017, nearly 90% of all households in temporary accommodation were waiting for either a 1 or 2 bedroom property. Below is a comparison of the households on the housing registers with the number of properties let between April 2016 and March 2017. The demand for 1 and 2 bedroom properties is significantly higher than the available supply.

Social housing supply and demand - Adur



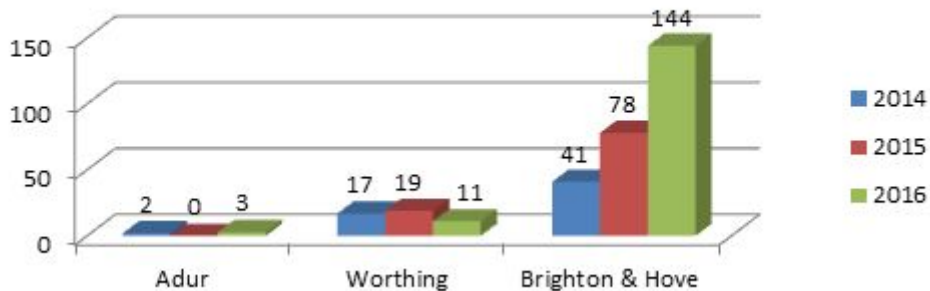
Social housing supply and demand - Worthing



3.5 Rough Sleeping

The vast majority of people who are homeless and not in priority need are single or childless households. These group of people are more likely to be ‘sofa surfing’ with friends or relatives, or literally roofless and some sleeping on the street. The figures in the charts below are based on figures submitted annually by local authorities to the Department for Communities and Local Government.

Level of Rough Sleeping (2014 - 2016)



A rough sleeper count done on 08 November 2017, identified 19 people sleeping rough in Worthing and none in Adur. However, based on intelligence we believe there are 35 in Worthing and 2 in Adur.

4.0 HOMELESSNESS REVIEW

4.1 Approach to consultation

Consultation to inform the draft Strategy included

- Two multi-agency focus groups one on preventing homelessness among families and the other on preventing homelessness among single households
- Interviews with residents who had experience homelessness
- local authority meetings covering homelessness
- individual officer meetings and contact with partner organisations

4.2 Summary of the findings from consultation

The focus groups concentrated on four main issues

- How do we make preventing homelessness everyone's business?
- What advice and information do households need to achieve sustainable tenancies and independent living?
- Where else can families find affordable housing?
- If Temporary accommodation is not the solution, what is?

Below is a summary of the findings from the consultations

- All agencies need to be involved in early identification and early intervention to increase the chances of preventing homelessness
- First points of contacts need better and quicker access to the homeless prevention assistance the Councils' provide and AWC Housing service's specialist knowledge on housing regulations
- Proactive homeless prevention should be rewarded or incentivised rather than statutory homeless solutions
- An evictions reduction protocol is required to reduce evictions from social housing and supported accommodation
- A pathway style approach to joined up working will create a structured and clearer method of preventing homelessness
- An open minded approach is required to utilising all forms of housing supply e.g. Containers, dormitories in universities during off season
- MARAC style meetings are useful for complex cases that require multi-agency intervention
- Incentives and support are needed to assist households relocate to affordable accommodation out of the Councils' area
- AWC and all agencies need to collate and share data to better understand key issues and trends on housing demand and supply and also to help manage expectation within the community

5.0 KEY PRIORITIES OVER THE NEXT 5 YEARS

5.1 What have we done so far?

Adur and Worthing Rough Sleepers Team

This team is a partnership involving AWC, Worthing Churches Homeless Project (WCHP), Probation, Change Grow Live (CGL), Southdown, Health Central Surgery (NHS), Sussex Police and STORM Ministries. The team which meets weekly is focused on preventing rough sleeping. The team targets vulnerable adults at risk of sleeping rough, those sleeping on the streets for the first time, known sleep site hot spots and those who have been supported off the streets. This multiagency effort has improved communication between the services and outcomes for those sleeping rough.

The Mental Health and Homelessness Strategic Group

The Mental Health and Homelessness Strategic Group utilises Systems Leadership methods to ensure a holistic client centred approach which enables the system to deliver a service that supports the needs of people with mental health who were at risk of homelessness.

A group of frontline professionals from various services were asked to “develop productive connections, activate and generate new ideas to help each other and promote key ideas which can be communicated to the Strategic Group”. Using the MEAM approach, the professionals delivered a multi-agency led intervention to a specified cohort of locally identified people who had multiple and complex needs. The individuals the pilot worked with recorded an improvement in their health, successes in attaining suitable accommodation, and reduction in Accident and Emergency attendances and a reduction in Police intervention².

The success of the pilot led to a successful bid to DCLG for WCHP to recruit two complex need workers. The workers hold the most complex cases in Adur and Worthing (based on chaos Index assessments). This MEAM pilot has now been developed to create a Single Homeless MARAC (Multi Agency Risk Assessment Conference) with representations from WCHP, AWC, Police, CGL, Sussex Partnership Trust Probation, NHS. This group will coordinate interventions and improve outcomes for people with complex needs who are sleeping rough or at risk of sleeping rough.

Single Persons Sub Group

This group, a subgroup of the Homelessness Forum, has been tasked with working with supported housing providers to agree an evictions protocol and

² Worthing Making Every Adult Matter Pilot Evaluation Report

defining a pathway for single persons who are homeless or at risk of homelessness. A clearer pathway will provide agencies with the relevant information to assist single people to access the support they need. It will also create an integrated approach to preventing homelessness among agencies that work with this client group, reducing the need for single people to sleep on the street.

5.2 Our Key Priorities

This strategy aims to help create the conditions for more successful homelessness preventions. Partners and stakeholders involved in producing this strategy accept the need to reduce the number of households presenting homeless on the day, eliminate the need for anyone discharged from an institution needing to sleep on the streets and increase the resilience in our communities wherever possible.

The 2017-21 Strategy contains three key priorities

Prevention - Maximising opportunities to prevent homelessness through an enhanced housing options provision

Partnership - Creating strong partnerships to tackle homelessness

Pathways - Reduce the risk of single people sleeping rough

These key priorities contributes towards achieving Platform 4 (Services and Solutions for our Places) of Platforms for our places and the Councils' Housing Matters Strategy 2017- 2020.

The Councils' social housing allocation policies, which will also be reviewed, will encourage and support households to proactively prevent homelessness.

PRIORITY ONE

PREVENTION - Maximising opportunities to prevent homelessness through enhanced housing options

Why is this a priority?

We want to build on the resilience in our community by increasing the opportunities individuals and families have to access advice and assistance to prevent homelessness.

How will we do this?

- Develop a self-help housing options tool
- Make appropriate advice and information on housing options, tenancy sustainment and homelessness services available through various media
- Improve opportunities for early identification and intervention
- Improve opportunities for joint work among agencies to identify and provide holistic support to households at risk of homelessness
- Raise awareness of homeless, financial responsibility, budgeting skills and help services using a targeted campaign through social media channels, websites and other relevant institutions e.g. schools and colleges, libraries.
- Positive use of enforcement powers to discourage rogue landlords and improve housing conditions
- Develop a better understanding of homelessness in the area through better data collection and sharing.
- Ensure the limited supply of social housing is used effectively to maximise homelessness prevention

PRIORITY TWO

PARTNERSHIPS - Creating strong partnerships to tackle homelessness

Why is this a priority?

We want to identify those at risk of homelessness as early as possible and work with them to remove or reduce this risk. This requires more agencies being involved in identifying the risk of homelessness among those they support and work collaboratively to manage such risk.

How will we do this?

- Strengthen existing partnership working arrangements to achieve a better homeless prevention outcome
- Achieve a better understanding of the needs of all categories of homeless households or those at risk of homelessness
- Reduce evictions from social housing through targeted multi-agency support

PRIORITY THREE

PATHWAYS - Reduce the risk of single people sleeping rough

Why is this a priority?

We want to eliminate the need for anyone discharged from an institution needing to sleep on the streets and reduce the risk of vulnerable people sleeping rough

How will we do this?

- Explore opportunities to develop a vulnerable adults pathway
- Explore opportunities to establish an integrated homeless prevention service for single people
- Vulnerable single people with complex needs who are sleeping rough or at risk of sleeping rough received specialist support from a multidisciplinary team
- Establish a protocol with hospitals to ensure no one is discharged to the streets

No	Action	How	Target	Partners	Lead	Outcome
Priority 1: Prevention - Maximising opportunities to prevent homelessness through an enhanced housing options provision						
1.1	Develop a self-help housing options tool	The new Sussex Homemove IT system will include an online self-help housing options tool.	Apr 2018	Sussex Homemove Partners	AWC	Relevant information and advice can be accessed quicker by those at risk of homelessness
1.2	Review and revise current information available on housing and homelessness services	Information is available online and through leaflets on housing options and support available to prevent homelessness across different tenures	Apr 2018	AWC	AWC	Relevant information and advice can be accessed quicker by those at risk of homelessness
1.3	Improve opportunities for early identification and intervention	Through the 'Preventing Homelessness Project' work more agencies are able to identify early signs of risk of homelessness	Dec 2018	AWC	AWC	All agencies look out for early indicators of homelessness and provide early intervention or signpost appropriate
1.4		Frontline officer across all agencies have access to information and advice to be able to provide intervention or	Dec 2018	AWC	AWC	All agencies are able to access appropriate advice to provide early intervention or signpost to appropriate service

		signpost to appropriately				
1.5	Improve opportunities for more joint work among all agencies to identify and provide holistic support to households at risk of homelessness	Agencies carry out more joint assessments and create multidisciplinary action plans to better support households at risk of homelessness	Oct 2018	AWC	AWC	Households receive holistic and multidisciplinary support to prevent homelessness and sustain existing accommodation
1.6	Create a pathway to access advice and assistance on managing debt and maximising income	Work with DWP, CA and other services to ensure advice on debt and money management is available		AWC CA DWP	AWC	Households and agencies are able to access advice and assistance on managing debt and their finances.
1.7	Raise awareness of homeless, financial responsibility, budgeting skills and help services using a targeted campaign through social media channels, websites and other relevant institutions e.g. schools and colleges, libraries.	Develop short information films that can be shared on social media and websites and in schools, colleges, relevant forums etc		AWC	AWC	Improve households' resilience to prevent homelessness occurring throughout their lifetime
1.8		Involve schools and colleges in the Preventing Homelessness Project		AWC Schools Colleges		
1.9	Maximise homeless prevention through effective use of	Review the Councils' Allocation Policy		AWC		The Allocations Policy supports and rewards homeless

	social housing allocation					
Priority 2: Partnerships - Creating strong partnerships to tackle homelessness						
2.1	Strengthen existing partnership working arrangements to achieve a better homeless prevention outcome	Explore opportunities to deliver a joined up service through co-location of frontline officers		All agencies		
		Explore opportunities to carry out joint assessments and joint action planning which include actions to prevent homelessness		All agencies		
		Share specialist knowledge and improve access to services through the Directory of Services		All agencies		Detailed and specialist knowledge based within other agencies is accessible to support professionals who are working with families and/or individuals through a key contact

2.2	To collect and analysis wider homelessness prevention data across various agencies	Develop and implement a format for collecting and sharing multi agency data through the Homelessness Forum		Housing Services CA WCHP Southdown Hospitals IOMS		There is a better understanding of the needs of homeless households in the area, any trends and how to make best use of the available resources
2.3	Reduce evictions from social housing through targeted multi agency support	A protocol is established with social landlords, Housing services and other relevant agencies on targeting support at tenants at risk of losing their tenancies		RPs Supported housing providers AWC Housing services Southdown WSCC		Those at risk becoming homeless from social housing receive multi agency support to sustain their accommodation
	Reduce evictions from private rented sector and increase supply available through better relationship and support for private landlords	Provide a single point of contact where landlords can access information and assistance		AWC	AWC	Landlords able to receive free advice on how to ensure their property meets the required standard and
		Review Opendoor Scheme to ensure it provides better support to landlords and prospective tenants including rent in advance and deposit		AWC	AWC	

		Continue to work with the National Landlord Association to improve relationship with landlords		AWC	AWC	
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Priority 3: Pathways - Reduce the risk of single people sleeping rough

3.1	Explore opportunities to develop a vulnerable adults pathway	The Single Persons Homeless sub group will develop a pathway for vulnerable adults	Apr 2019	All agencies		There is an integrated approach to preventing homelessness among agencies that work with single people with a consistent and fair process for accessing supported housing and planned moves to independence
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3.2		The Single Person's subgroup will work with supported housing providers to agree an evictions protocol	Apr 2018	Single Persons Subgroup		All evictions from supported housing follow a coherent process and reflects best practice
3.3	Explore opportunities to establish an integrated homeless prevention service for single people	Create a single point where single people can have access to a wide range of services and support to improve their wellbeing and prevent homelessness	Dec 2018	All		Single people are able to receive holistic and multidisciplinary support to improve their wellbeing and prevent homelessness
3.4	Vulnerable single people with complex needs who are sleeping rough or at risk of sleeping rough received specialist support from a multidisciplinary team	The MEAM Team will coordinate interventions and improve outcomes for people with complex needs at sleeping rough or at risk of sleeping rough		WCHP AWC CGL Police NHS WSCC	MEAM MARA C	

3.5	Establish a multiagency protocol with hospitals to ensure no one is discharged/evicted to the streets by all providers	Work with the local Community Networks to establish a protocol for identifying those in hospital at risk of homelessness		All		
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Abbreviations

AWC	Adur & Worthing Councils
CA	Citizens Advice (formerly Citizens' Advice Bureau)
CGL	Change Live Grow
DWP	Department of Work and Pensions
IOMS	Integrated Offender Management Services
MEAM	Make Every Adult Matter
MARAC	Multi-Agency Risk Assessment Conference
NHS	National Health Services
Police	Sussex Police
RPs	Registered Providers
WCHP	Worthing Churches Homeless Project
WSSC	West Sussex County Council



ADUR & WORTHING
COUNCILS

Key Decision [~~Yes~~/No]

Ward(s) Affected: All

Delivering our Housing Strategy - Discretionary Funding for Disabled Facilities Grants (DFGs)

Report by the Director for Communities

Executive Summary

1. Purpose

1.1 The Adur & Worthing Councils Housing Strategy 'Housing Matters' confirms that we will:

Work with public sector and third sector agencies to identify the risks and drivers that lead to homelessness and develop early help options. This must also include ensuring that we support individuals and families to remain in their homes when health or disability become problematic

1.2 This report asks the Joint Strategic Committee to adopt the Interim Private Sector Housing Assistance Policy, which enables the Council to grant discretionary funding and maximise how the Disabled Facility Grant system is used to help people access adaptations to keep them safe, warm, independent and living well in their homes.

1.3 Adopting this interim and enabling style policy as part of the wider West Sussex partnership project, will allow the Councils to participate fully in the project and to trial different aspects of grant funding under the auspices of the Better Care Funding allocation. The project will be evaluated at its conclusion to inform any further changes required to the policy.

2. Recommendations

2.1 The Joint Strategic Committee is recommended to:

- i) approve the draft Interim Private Sector Housing Assistance Policy for implementation as part of the wider West Sussex Partnership.
- ii) delegate authority to the Executive Members for Customer Service to approve amendments to the policy and the eligible schemes , following evaluation of the partnership project and the operation of the Interim Policy.

3. Context

- 3.1 Disabled Facilities Grants (DFGs) are governed by the Housing Grants, Construction and Regeneration Act 1996. This Act explicitly covers mandatory DFGs which require authorities to offer assistance once the recommendation for an adaptation has fulfilled the criteria of being 'necessary and appropriate' and 'reasonable and practical'. Applicants have to satisfy a Test of Resources regarding their income and savings, which determines whether they will be required to contribute towards a grant.
- 3.2 In 2002 Central Government introduced the Regulatory Reform (Housing Assistance)(England and Wales) Order 2002 ("the RRO"). This was designed to provide freedom and opportunities for local authorities to address housing issues and repealed much of the prescriptive legislation that was in place at that time, and replaced it with a new wide-ranging power to provide assistance for housing renewal.
- 3.3 In 2008-9 the scope of the RRO was extended to include use of the DFG money, enabling local housing authorities to use specific DFG funding for wider purposes.
- 3.4 In order to make use of the RRO, a local authority must comply with the following conditions:
 - a. There must be a formally adopted policy in place, which sets out how the authority intends to use its powers;
 - b. There must be notice to the public that a policy is in force;
 - c. They must ensure that a copy of the full policy is available to the public for free at the council offices;
 - d. There must be a summary document available on request (though a small charge to cover costs may be allowed).

- 3.5 In 2014, the Government introduced the Better Care Fund (BCF) which pooled a number of existing funding streams and is administered by Health and Wellbeing Boards. District housing authorities however, retain the statutory duty to provide adaptations to the homes of people who qualify for a mandatory DFGs. In the related 'Policy Framework' upper-tier authorities are compelled to pass on the DFG funding from the pooled budget to enable housing authorities to continue to meet this mandatory duty. Conditions to this effect have been added to the DFG Conditions of Grant Usage (under Section 31 of the Local Government Act 2003).
- 3.6 The funding available to District councils has increased and will remain at higher levels until 2020. Consequently the Councils are now in a position to offer discretionary grants to enable a wider group of people access to adaptations that will keep them safe, warm and living well in their homes, with the added benefit of reducing the risk of homelessness amongst a vulnerable group.

4. Issues for consideration

- 4.1 In 2016/17, a partnership project between West Sussex County Council and the District and Boroughs 'Supporting people in their own homes' was commenced. As part of this project, District and Borough leads have developed a range of ideas to support the introduction of discretionary DFGs, which are funded by the BCF and will be common across West Sussex.
- 4.2 Although some changes apply to the way in which applications are processed and can be introduced by officers, other options increase the payments that can be made and the eligible works and so require approval by elected members.
- 4.3 Examples of the ways that the proposed interim policy for discretionary DFGs will benefit applicants within Adur & Worthing include:
- a) *Reductions in the number of quotes*
Using one quote for common, simple adaptations such as stairlifts, ramps and flush floor showers. This will reduce waiting time for straight-forward works.
 - b) *Referrals from private occupational therapists (OTs) and direct referrals*
This will allow applicants to either self refer or use private OTs that reduces the impact on WSCC OTs and reduces waiting time.

- c) *Partial waiver of contribution following a mandatory 'test of resources'*
This will allow the authority to cover up to £5000 of any contribution and will benefit families in work but with on very low incomes and perhaps most importantly, reduces the risk of customers not proceeding with an application that could have far reaching benefits.
- d) *Funding in excess of maximum mandatory grant of £30,000*
This will provides a simple, timely and less complicated system of progressing major adaptations which have been identified as essential to meet the disabled person and their family's needs, once all other options (such as moving) have been considered.

- 4.4 In response to potential questions regarding these proposals it is worth noting that the vast majority of applicants for DFGs are in receipt of means-tested benefits and are not subject to the mandatory test of resources and will not have a contribution to make.
- 4.5 Removing obstacles to the uptake of an adaptation, including help with contributions, means that works can be delivered more quickly to make a property safe and suitable for the applicant to remain in their home for longer.
- 4.6 The costs incurred through the delivery of these interventions is more than offset by the savings made in preventing prospective hospital or care home admissions.
- 4.7 The Partnership Project is a dynamic process and changes may need to be made to the Policy as data is analysed and indicate what options are making a tangible difference to the customer and whether other options may need to be introduced. Hence the recommendations made in this report.

5. Engagement and Communication

- 5.1 The proposals were developed as part of the partnership project between West Sussex County Council and the District and Boroughs 'Supporting people in their own homes'. Each member of the Partnership is seeking to have agreement to these measure so that a common set of behaviours applies across West Sussex.
- 5.2 The proposed policy will be published on the Council's website and a hard copy made available for viewing in Council offices as required.

6. Financial Implications

6.1 Over the past four years the Councils have allocated and spent the following amounts on DFGs:

Adur District Council

Year	Budget £	Actual Expenditure £	Grant funding Received £
2014/15	402,380	378,399	242,548
2015/16	400,000	413,530	293,283
2016/17	336,470	192,283	511,693
2017/18	437,160	191,123 (To Date)	588,137

Worthing Borough Council:

Year	Budget £	Actual Expenditure £	Grant funding Received £
2014/15	775,000	716,405	450,811
2015/16	725,000	586,213	550,094
2016/17	750,000	572,081	986,915
2017/18	927,920	519,237 (To Date)	1,079,802

6.2 The mandatory DFG and proposed Discretionary DFG will be fully funded through the Better Care Fund (BCF) allocation from WSCC. Offers of discretionary funding grants are dependent upon funding remaining available through the BCF.

6.3 The Repair Grant Assistance and Landlords Repair Grant Assistance will be funded through existing capital allocations contained within the capital programme.

7. Legal Implications

7.1 Mandatory DFGs are available from local authorities under the Housing Grants, Construction and Regeneration Act 1996. DFGs are subject to a means test and are available for essential adaptations to provide disabled people with better freedom of movement into and around their homes, and improved access to essential facilities with the home. Section 24(3) of the Housing Grants, Construction and Regeneration Act 1996 provides that

“A local housing authority shall not approve an application for a grant unless they are satisfied—

(a) that the relevant works are necessary and appropriate to meet the needs of the disabled occupant, and

(b) that it is reasonable and practicable to carry out the relevant works having regard to the age and condition of

(i) the dwelling, qualifying houseboat or qualifying park home, or

(ii) the building”.

7.2 Article 3 of the Regulatory Reform (Housing Assistance) (England and Wales) Order 2002 contains a general power that enables Housing Authorities to provide discretionary assistance with regards to repairs, improvements and provision of accommodation and the adaptation of properties.

7.3 The limitation on provision of discretionary assistance is that it any such assistance must be used in accordance with a policy that has been adopted and publicised (Article 4 of the Order).

7.4 Article 3 of the The Disabled Facilities Grants (Maximum Amounts and Additional Purposes) (England) Order 2008 extended the scope of the 2002 order.

7.5 In reaching a decision the authority will consider the following factors for the proposed adaptations or improvements, i.e. whether the works:

- are needed to provide for a care plan to be implemented which will enable the disabled occupant to remain living in their existing home as independently as possible;
- would meet, as far as possible, the assessed needs of the disabled person taking into account both their medical and physical needs; and
- distinguish between what is desirable and possible legitimate aspirations of the disabled person, and what is actually needed and for which grant support is fully justified.

7.6 In all the circumstances to enable the Council to apply discretionary funding, it is necessary in accordance with the 2002 Order to have in place an appropriate policy, which has been formally adopted, publicised and available for inspection.

Background Papers

- Interim Private Sector Housing Assistance Policy

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Sustainability & Risk Assessment

1. Economic

- The delivery of timely adaptations, repairs and improvements reduces the cost incurred by society through hospital or care home admissions or the delivery of care packages

2. Social

2.1 Social Value

- The Housing Assistance Policy helps provide repairs, improvements and adaptations to the homes of many of the most vulnerable residents of Adur & Worthing and helps deliver our Housing Strategy and ambitions outline in the Councils three year strategy 'Platforms for Our Places'

2.2 Equality Issues

- The Housing Assistance Policy aids the more vulnerable residents of the Councils, including the elderly and disabled.

2.3 Community Safety Issues (Section 17)

- "Matter considered and no issues identified."

2.4 Human Rights Issues

- "Matter considered and no issues identified."

3. Environmental

- "Matter considered and no issues identified."

4. Governance

- The Policy helps deliver our Housing Strategy.
- The policy impacts upon Our Social Economy in respect of the supply of safe homes.



INTERIM PRIVATE SECTOR HOUSING ASSISTANCE POLICY

1. Introduction

1.1. Poor quality housing can have an impact on the health of the occupants and on the quality of life in an area. The housing stock is also a national asset and action has to be taken to protect and enhance that asset.

1.2. This policy aims to:

- Enable owner-occupiers, and private sector tenants with repairing obligations, to carry out repairs and improvements to their homes.
- Enable landlords to access funding for repairs or improvement of properties on the proviso that the Councils obtain benefit from such a financial arrangement.
- Enable people, particularly older persons and disabled persons, to remain in their own property.

1.3. The Council's view is that it is primarily the responsibility of homeowners to maintain their own properties and, where owners can afford to undertake repairs and maintenance using their own resources, they should be encouraged to do so. There are, however, good reasons for the Council to assist vulnerable and poorer homeowners with repairs and improvements, especially where this benefits health, protects the property or allows people to remain in their own homes.

2. Assistance to be Provided

2.1. Using the forms of assistance detailed below, the Councils intend to make the best use of the funds they have available to improve the quality of housing, and thereby the quality of life, within their areas.

2.2. The funding of assistance to those in the private sector is discretionary (with the exception of the mandatory element of Disabled Facilities Grants) and is financially limited through an annual budget set by the Councils, which is based upon the Better Care Funding allocated by West Sussex County Council.

2.3 Discretionary schemes will only be considered while there is sufficient funding available within the financial year and may be removed at short notice

3. Categories of Assistance

3.1. In some cases loan finance will not be appropriate, for example where there is insufficient equity in a property against which to raise a secured loan, or where the amount required is too small to justify raising a secured loan. Where loan finance is not available, and subject to conditions, the Council will make the following financial assistance available:

4. Repair Grant Assistance

4.1. Repair Grant Assistance will be available to vulnerable/disadvantaged households in receipt of a means tested benefit i.e.

- Income Support,
- Housing Benefit,
- Council Tax Support,
- Employment and Support Allowance with an income related component,
- Guaranteed Pension Credit,
- Working & Child Tax Credit (with an income of less than £15,050)

In addition

- Applicants must be aged 18 years of over.
- Live in the dwelling as their only residence.
- Be owner/occupiers (holding title) or long-term tenants with a repairing responsibility under their tenancy agreement or occupy the dwelling under a right of exclusive occupation granted for life or for a period of more than 5 years.
- Have occupied the dwelling for a minimum period of 12 months

4.2. Works for which repair grant assistance is available include:

- Works to rectify a dangerous/defective electrical installation
- Repair/replacement of defective/obsolete boilers which provide space heating and/or domestic hot water, if there is no alternative scheme available to fund a new boiler.
- Repair/replacement of a defective electric immersion heater. Where there is no other means of providing domestic hot water.

- Works to make a property wind and watertight.
 - Replacement of defective wall ties.
 - Works to rectify serious rising or penetrating dampness.
 - Works to rectify/improve internal arrangement within a dwelling, which is likely to cause serious harm to the occupants.
 - Replacing front doors to flats for fire safety.
- 4.3. Repair Grant Assistance will be offered up to a maximum of £5,000 and will be organised through the Adur & Worthing Home Improvement Assistance (AWHIA) team.
- 4.4. Typically, within any three-year period, only one application for Repair Grant Assistance will be considered, unless there are exceptional circumstances, in which case any such requests will be reported to a Grant Assessment Panel for consideration.
- 4.5. If the property is disposed of within a five year period after completion of the works, a proportion of any grant paid will be required to be repaid, based on a sliding scale. The sliding scale of repayment shall be as follows:-
- Within one year – full repayment of the full grant amount.
 - 1-2 years – repayment of 80%
 - 2-3 years – repayment of 60%
 - 3-4 years – repayment of 40%
 - 4-5 years – repayment of 20%
- 4.6. If the property is disposed of after a five year period no proportion of the grant is required to be repaid?.

5. Landlord's Repair Grant Assistance

- 5.1. Landlord's repair grant assistance will be available where the owner of a dwelling is carrying out works to a property with the intention of letting the property.
- 5.2. Access to the landlord's repair grant assistance is dependent upon the landlord either offering the Council nomination rights, or entering into a Private Sector Lease agreement with the Council, for a period of up to four years.
- 5.3. Works for which Landlord's repair grant assistance is available include:

- Works to rectify a dangerous/defective electrical installation
- Repair/replacement of defective/obsolete boilers which provide space heating and/or domestic hot water, if there is no alternative scheme available to fund a new boiler.
- Repair/replacement of a defective electric immersion heater. Where there is no other means of providing domestic hot water.
- Works to make a property wind and watertight.
- Replacement of defective wall ties.
- Works to rectify serious rising or penetrating dampness.
- Works to rectify/improve internal arrangement within a dwelling, which is likely to cause serious harm to the occupants.
- Works to substantially improve the internal decorative repair of the property

5.4. Landlord's repair grant assistance will be offered up to a maximum of £5,000 and will be organised through the Adur & Worthing Home Improvement Assistance (AWHIA) team, subject to agreement with the Private Sector Options Officer.

5.5. The factors affecting the maximum amount of grant that will be made available include the size and location of the dwelling and the number of bedrooms available for legal use.

5.6. If the property is disposed of within a five year period after completion of the works, or any break clause in the lease is activated, a proportion of any grant paid will be required to be repaid, based on a sliding scale. The sliding scale of repayment shall be as follows:-

- Within one year – full repayment of the full grant amount.
- 1-2 years – repayment of 80%
- 2-3 years – repayment of 60%
- 3-4 years – repayment of 40%

4-5 years – repayment of 20% If the property is disposed of after a five year period no proportion of the grant is required to be repaid?.

6. Disabled Facilities Grants

- 6.1. Mandatory Disabled Facilities Grants will be made available in accordance with the statute.
- 6.2. Discretionary Disabled Facilities Grants will be made in accordance with the tables contained in Appendix 1 to this Policy.
- 6.3. Discretionary funding is made subject to the availability of appropriate levels of funding and may be withdrawn or suspended at any time.

7. Operation of Assistance - General

7.1. The following provides advice on the general framework of the financial assistance policy. For issues outside this policy regard will be (given?) had to the legislation and Government guidance.

7.2. Enquiries and Applications for Assistance

7.2.1. The Council's Private Sector Housing team, including the AWHIA, will operate a preliminary enquiry system to advise people of their options.

7.2.2. An application for assistance shall be in a form prescribed by the Council and shall include:-

- Full particulars including, where relevant, plans and specifications of the works for which the assistance is sought.
- Evidence to support the financial assessment or proof of receipt of benefit.
- Estimates from at least two separate contractors of the cost carrying out the works, unless the Council otherwise directs in any particular case.
- Particulars of any professional fees and other charges which relate to the preparation for and the carrying out of the works.
- Proof that the applicant is an owner or a tenant of the dwelling.
- Consent, in writing, from all owners of the dwelling to the carrying out of the works.
- Where appropriate, Certificates of Occupancy.
- A copy of all necessary permissions. e.g. Building Regulation approval, planning permission, party wall agreement.

7.2.3. The information above may be provided as part of the agency service provided by AWHIA.

7.3. Applications after Commencement or Completion of Works

7.3.1. The Council will not normally approve an application for assistance where the works have begun or been completed prior to approval.

7.4. Age Limits

7.4.1. The Council will not consider an application for assistance when the property concerned was built or provided by conversion less than ten years before the date of application, except in the case of a disabled adaptation.

7.4.2. Applicants must be aged 18 years or over on the date of application to be eligible for assistance.

7.5. Owner's Interest

7.5.1. The Council will not consider an application for assistance unless the applicant has an owner's interest in all the land on which the relevant works are to be carried out. An owner's interest means a freehold interest or a leasehold interest where there is at least ten years of the lease left to run. Household in shared equity schemes will be regarded as having an owner's interest, provided that the scheme involves at the outset the grant of a long lease.

7.6. Assistance to Tenants

7.6.1. Repair Grant Assistance will be available to tenants where they have a relevant repairing obligation.

7.6.2. Tenants will need to provide written permission from the property owner in order to apply for assistance.

7.6.3. Disabled Facilities Grants are available to tenants, as prescribed by statute.

7.7. Certificates and Conditions of Occupation

7.7.1. All applications for assistance must be accompanied by a completed certificate relating to the future occupation of the property, as follows:-

- Owner Occupation Certificate certifies (certifying?) that the applicant has an owner's interest in a dwelling and that they intend to live in the dwelling as their only or main residence from the certified date. The certified date is the date certified by the Council on which eligible works were satisfactorily completed. The conditions relating to the certificate shall be registered as a local land charge in relation to the property and are binding on the owner or successive owners.
- Where there is a change in ownership or occupation compared with that recorded on the Owner Occupation Certificate, the grant will be repayable except where the change is considered to be an exempt disposal.
- Landlord's Certificate of Intended Letting certifies (certifying?) that the applicant has an owner's interest in the dwelling and intends to, or already has, let the dwelling as a residence for a period of at least five years, beginning on the certified date, to someone who is not a member of his family and on a tenancy which is not a long tenancy. These provisions apply equally to situations where a dwelling is already let, and will continue to be let, after the grant works are carried out and to those where letting will only commence or resume after works have been carried out. There may be a number of individual successive lettings during the five-year period.

7.8. Amount of Assistance

7.8.1. The policy specifies the maximum amount that may be paid in respect of an application for assistance.

7.8.2. The Council will take into account the following matters when determining the estimated expense and calculating the grant:-

- Which of the relevant works are eligible for assistance - the "eligible works"; ("Eligible works" means works agreed by the Council. These

would normally include works required to alleviate serious risks to health and safety and to put the property into a reasonable state of repair, or adaptations as specified by the Occupational Therapist.

- The amount of expenses that are properly to be incurred in the execution of the eligible works.
- The costs properly attributable to the preliminary or ancillary services or charges, incurred in relation to the application.
- The amount of assistance that will be paid will be subject to the elements set out above, the means test and criteria applying to specific assistance detailed in the policy.

7.9. Decision and Notification

7.9.1. The Council will notify an applicant for assistance whether the application is approved or refused. The notification will be in writing as soon as reasonably practicable and, in any event, not later than six months after the date of the application concerned.

7.9.2. If the application is approved the notification will also specify the works which are eligible for assistance, the value of the assistance and the form that the assistance will take, and any contribution by the applicant.

7.9.3. If the application is refused, the Council will at the same time explain the reasons for the refusal and the procedure for appealing against the decision.

7.9.4. If the Council is satisfied that owing to circumstances beyond the control of the applicant, the cost of the assisted works has increased or decreased, they may re-determine the amount of the assistance and notify the applicant accordingly.

7.10. Supervision of Works

7.10.1. The responsibility for supervision of the works rests with the applicant unless they appoint a professional adviser or agent for that purpose. Although the Council may assist the applicant to secure a contractor, this does not constitute a recommendation.

7.10.2. The Council does not accept any responsibility for supervision of the works.

7.11. Payment of Assistance: Conditions as to Carrying Out of the Works

7.11.1. The assistance will only be paid if -

- The eligible works are completed within twelve months from the date of approval, or such further period as the Council may allow.
- The eligible works are carried out in accordance with such specifications as the Council determines.
- The eligible works are carried out by one of the contractors whose estimates accompanied the application.
- The eligible works are executed to the satisfaction of the Council.
- The Council is provided with an acceptable invoice, demand or receipt for payment for the works and any professional fees and other charges. For this purpose an invoice, demand or receipt is acceptable if it satisfies the Council and is **not** given by the applicant or a member of his family.

7.12. Payment of Assistance

7.12.1. The Council will normally pay the assistance direct to the contractor either in instalments as work proceeds, or in one lump sum following completion of the works. The Council will not normally pay more than three instalment payments and where the grant is paid in instalments, the aggregate amount of grant paid at any point prior to the completion of the eligible works, must not exceed nine-tenths of the amount of the grant.

7.12.2. Where assistance is payable but the eligible works have not been executed to the satisfaction of the applicant, the Council may, at the applicant's request and if they consider it appropriate to do so, withhold payment from the contractor.

7.12.3. In cases where the applicant has a contribution to make, they should make arrangements with the contractor for payment.

7.13. Repayment Where Applicant Not Entitled to Assistance

7.13.1. If an application for assistance is approved but it subsequently appears to the Council that the applicant (or, in the case of a joint application, any of the applicants) was not, at the time the application was approved, entitled to assistance of that description, no payment shall be made or, as the case may be, no further instalments shall be paid and the Council may demand that any payments that have already been made be repaid forthwith, together with interest from the date on which they were paid until repayment, at such reasonable rate as the Council may determine.

7.14. Conditions for Repayment of Assistance

7.14.1. If an owner of the dwelling to which the application relates ceases to be the owner before the works are completed, they shall repay to the Council on demand the amount of any assistance that has been paid.

7.14.2. Where an Owner Occupation certificate is required, when an owner of the dwelling(s) to which the application relates ceases to be the owner, they shall repay to the Council on demand the amount of assistance that has been paid.

7.14.3. If an owner of the dwelling(s) to which the application relates, having undertaken to let the dwelling(s), ceases to let the dwelling(s) in accordance with his undertaking, within five years from the date the works were completed, they shall repay to the Council on demand the amount of assistance that has been paid. (Is there any scaling or is it full repayment?)

7.14.4. Where assistance has been provided in accordance with Repair Grant Assistance, if an owner of the dwelling to which the application relates ceases to be the owner, they shall repay to the Council on demand the amount of assistance that has been paid. Repayment will not be required when the property is disposed of to provide an annuity income and the person concerned is entitled to continue to occupy the premises as their only, or main, residency, or where the person to whom the disposal is made is the spouse or partner or member of the family, and they have lived in the property for at least three years prior to the disposal.

7.14.5. A disposal of the property is a conveyance of the freehold or the assignment of the lease or the grant of a long lease for a term of more than twenty years, other than at a rack rent.

7.14.6. Where the Council has the right to demand repayment but there are extenuating circumstances, they may determine not to demand repayment or to demand a lesser amount.

7.14.7. Where the Council demands repayment, it will be no more than the amount of assistance paid.

7.14.8. The Council will not demand repayment in respect of mandatory disabled facility grants.

7.15. Requiring Information

7.15.1. In order to satisfy itself as to the manner in which a dwelling is being occupied or in relation to any other conditions of the assistance, the Council can require the owner or occupier to provide, within 21 days, a statement detailing how the property is occupied and/or details of any other information relevant to the application or grant conditions.

7.15.2. It is a condition of the assistance that the owner/occupier complies with this requirement and failure to do so may result in the Council requiring repayment of the grant.

7.16. Additional Conditions

7.16.1. Where the Council is considering an application for assistance they may impose additional conditions with the consent of the applicant, prior to approval.

7.16.2. The additional conditions may include, but are not restricted to:-

- Applicant to make contribution towards the eligible works.
- Right of the Council to nominate tenants to the living accommodation.
- Right of the Council to recover specialised equipment when no longer needed.

- Appointment of managing agents to let the living accommodation.
- Living accommodation to be maintained in good repair after the eligible works have been completed.

7.16.3. Breach of any of these additional conditions shall give the Council the right to demand repayment of the assistance.

7.17. Security for Assistance

7.17.1. Any condition above, which creates a liability to repay the assistance, shall be a local land charge.

7.17.2. The liability to repay any assistance may be discharged at any time by paying to the Council a sum equal to the amount of assistance or such lesser sum as the Council may agreed.

7.18. Applications outside the Policy

7.18.1. Where an application is received by the Council for financial assistance for private sector housing renewal but which falls outside this policy, the application will be considered on its merits by the Private Sector Housing Manager. The Private Sector Housing Manager has the discretion to approve any assistance where there is only a minor deviation from the policy having regard to the particular circumstances of the applicant. All other applications outside of the policy will be referred to the Grant Panel for their consideration.

7.19. Advice

7.19.1. The Council is committed to making advice and information available, either directly or through other partner agencies, in order to assist residents. The advice and information will be impartial and transparent.

7.19.2. Adur and Worthing Council staff will not provide financial advice. Anybody who needs such advice will be guided towards independent financial advisers. It will be made clear to anybody who

may need to raise a loan that they should seek independent financial advice before entering into any commitments.

7.20. Enforcement

7.20.1. In addition to the assistance detailed in this policy, the Council will continue to use its statutory powers to enforce standards in privately owned housing where appropriate.

7.20.2. Enforcement action in respect of individual properties shall be at the discretion of the Private Sector Housing Manager as complaints or other situations arise.

7.20.3. Enforcement action in respect of houses in multiple occupation shall be issued at the discretion of the Private Sector Housing Manager as complaints or other situations arise.

8. Policy Implementation

8.1. This policy will be subject to ongoing monitoring and will be reviewed annually, unless there is some event, consideration or legislation change that necessitates an earlier review.

8.2. This policy was produced in November 2017.



ADUR & WORTHING
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Appendix A

Discretionary Disabled Facility Grants - options available for use by Adur & Worthing Councils

The aim of these grants is to maximise how the DFG is used within the current mandatory legislation to help people access adaptations to keep safe, warm and living well in their homes, and meet the DFG Project Purpose:

Help me to live in my own home easily and with dignity, with the right adaptation, when I need it.

The Better Care Fund (BCF) priorities for service provision are:

- **Person centred** - designed around the individual and delivered close to home.
- **Proactive and preventative** - helping people stay healthy and remain independent.
- **Responsive and co-ordinated** - provided in a seamless way that minimises admissions to hospital.
- **Supportive** - when someone is admitted to hospital the system will support them to recover and return home as soon as they are ready.
- **Integrated** - with organisations working together in innovative ways to provide health and social care services.

NB the following will be considered for those people who are eligible for the DFG and on the condition that the adaptation has been assessed as being necessary and appropriate, reasonable and practicable and supported by a WSCC Occupational Therapist (OT) or OT Assistant (OTA) under the supervision of a registered OT.

Description	Conditions and narrative	Subject to Means Test	Amount Available	Reasoning & rationale
<p><u>Extended warranties:</u></p> <p>For all adaptations which require electrical installations such as through-floor lifts, step lifts, stair lifts, closomats etc.</p>	<p>To be provided for all such adaptations regardless of tenure.</p> <p>Some Registered Housing Providers (RHP) take on responsibility for servicing and repairs once the standard 1 year warrantee expires and therefore extended warrantees will not be offered in these circumstances.</p> <p>Minimum 5 year warranty with the option of extending at the end of the period.</p>	<p>Yes</p>	<p>Within the current maximum DFG £30,000</p>	<p>Gives families peace of mind and timely / stress free assistance if the adaptation should break down.</p> <p>Allows people to live well in their home for as long as possible.</p> <p>Helps to reduce repeat DFG applications for repair or replacement of adaptions.</p> <p>Consideration to be given to how customer can be supported once the warranty expires.</p>
<p><u>Reduction in number of quotes</u></p> <p>Aim to use 1 quote where appropriate for common, simple adaptations such as stairlifts, ramps and lifts.</p>	<p>Two or more quotes to be sought for adaptations where a single contractor is carrying out work or multiple works expected to total over £10,000.</p>	<p>Yes</p>	<p>N/A</p>	<p>Reduce applicant waiting time for straight forward adaptions which can be completed quicker.</p> <p>Grant officers to use professional judgement and discretion.</p>

<p><u>Referrals from privately practicing Occupational Therapists</u></p>	<p>Mandatory DFG legislation states that District & Boroughs must consult the social services authority</p> <p>Standard letter to be used. District & Boroughs to proceed with DFG if no response from the social services authority within 14 days.</p> <p>Letters to be sent by District and Boroughs to Senior Practitioner OT at locality offices, not to Adult Care Point 2 (ACP2).</p> <p>Applicants must give consent for their personal details and the recommendation to be shared with WSCC as the social services authority.</p>	<p>Yes</p>	<p>Up to current maximum DFG £30,000</p>	<p>Customer has choice as to whether to appoint a private OT</p> <p>Timely option for simple adaptations as not subject to social services authority waiting times.</p>
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<p><u>Direct Referrals</u></p> <p>WSCC to make direct referrals to the District or Borough for adaptation via the DFG if identified at initial assessment stage</p>	<p>Currently, ACP2 carry out initial assessments over the telephone with customers or their representatives. If a shower or stairlift is indicated and the person does not have complex medical conditions, the referral will be made directly to the District or Borough to proceed with the DFG.</p> <p>A standard referral form will be used by WSCC using existing IT case management system.</p> <p>The adaptation to be reviewed by a WSCC OT/A once complete and any other needs addressed.</p>	<p>Yes</p>	<p>Up to current maximum DFG £30,000</p>	<p>Reduces waiting time for straight forward adaptations.</p> <p>Good relationships exist between WSCC and District and Boroughs which ensure that advice can be sought at any time throughout the process. Similarly, review of adaptation to be carried out once complete by OT/A.</p> <p>Grant officers are generally skilled and experienced in planning for simple shower adaptations. Our contractors can recommend specific stairlifts to meet simple needs.</p>
<p><u>Partial waiver of contribution following means test</u></p>	<p>Eligible for DFG</p> <p>Assists every applicant with a contribution regardless of tenure.</p>	<p>Yes</p>	<p>Maximum waiver of first £5,000 of assessed contribution.</p>	<p>Most benefit will be for families in work but on a low income, those who have little to no disposable income or those paying off debt or with a poor credit history.</p> <p>Likelihood that this will help most people with smaller contributions to access necessary adaptations.</p>

<p><u>Help with assessed contribution following means test.</u></p>	<p>Based on WSCC “Financial Statement for Funding Towards Home Adaptations”</p> <p>In cases where there is particular difficulty paying an assessed contribution, applicants will be given the opportunity to complete a financial statement of their income and outgoings which will be considered by the District and Borough Council.</p> <p>Offered on a case by case basis at the discretion of the Council Council.</p>	<p>Yes - first £5000 of contribution to be waived</p>	<p>No maximum</p>	<p>Takes outgoings, debt repayments etc. into consideration and offered on a discretionary basis.</p> <p>Reduces risk of customer not proceeding with necessary adaptations because they cannot afford the assessed contribution.</p> <p>Single, timely and less complicated system for customers.</p>
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<p><u>Funding in excess of current maximum mandatory grant of £30,000</u></p> <p>(replaces current Top Up process)</p>	<p>Eligible for the DFG and considered on a case by case basis</p> <p>A charge for the full amount will be placed on owner occupied property for a 10 year period</p> <p>Charges will not apply to Registered Housing Provider (RHP) or privately rented property. (This approach is consistent with the DFG Land Charge powers that were introduced in 2008).</p> <p>Condition that RHPs register the property as being adapted and offer it to other families in need of the adaptations, should the property become vacant.</p> <p>District & Boroughs to seek permission from members to offer further funding, on a case by case basis should total cost of works exceed £60,000</p>	<p>Yes - first £5000 of contribution to be waived</p>	<p>Up to a maximum of £30,000 (total of £60,000)</p>	<p>Single, timely and less complicated system for customers.</p> <p>Major adaptations which have been identified as essential to meet the disabled person and their family's needs & once all other options (such as moving) have been considered.</p> <p>Good collaboration between District and Borough Council and the local authority to ensure money is spent appropriately.</p>
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<p><u>Relocation Grant</u></p> <p>To support people when moving to more suitable accommodation is preferable to adaptations.</p>	<p>Eligible for DFG</p> <p>Available to owner occupiers and private tenants where it is not reasonable or practicable to adapt the property to meet the disabled person's assessed needs.</p> <p>Conditions:</p> <p>The proposed property must be confirmed as suitable by the Private Sector / Housing Standards Teams and be assessed to meet the needs (or more easily adaptable to do so) of the disabled person by the social services authority OT.</p> <p>Owner occupiers to commit to remain in the property for five years (not applicable for private tenants)</p>	<p>Yes - first £5000 of contribution to be waived</p>	<p>Maximum of £10,000 to cover the costs arising from the following:</p> <ul style="list-style-type: none"> estate agents fees (limited to a maximum of 1.5% of the property value) stamp duty (limited to a maximum amount of £7,500) solicitors fees valuation fees mortgage arrangement fees removal costs necessary utility and service set up costs Minor adaptations to enhance the property's suitability. 	<p>Assists disabled and vulnerable people to move to more suitable accommodation particularly where adaptations cannot be carried out or the property is over occupied.</p>
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<p><u>Hospital Discharge Grants</u></p> <p>Support all vulnerable or disabled people being discharged from hospital</p>	<p>Available to all vulnerable or disabled people needing to be discharged home from hospital, regardless of tenure.</p> <p>Conditions:-</p> <p>Referrals accepted from adult social care or hospital OT / physiotherapists , rehabilitation/intermediate care teams, discharge coordinator, or Patient Advice and Liaison Service (PALS)</p> <p>Excludes packages of care funded by NHS continuing healthcare</p> <p>Works to include but not restricted to: property clearance, deep cleaning, urgent home repairs, removal of hazards, repair of heating systems, and provision of emergency heating.</p>	<p>No</p>	<p>Maximum of £3000 (negotiable on a case by case basis dependent on type of works required)</p>	<p>Reduce delayed transfers of care where home is not suitable for discharge home from hospital.</p> <p>Reduce re-admissions to hospital.</p> <p>Acknowledges that inappropriate housing puts health and wellbeing at risk.</p>
<p><u>DFG Fees Grant</u></p> <p>Available when DFG does not proceed but preparatory work has been carried out</p>	<p>Eligible for DFG.</p> <p>To cover reasonable professional fees and associated charges such as private OT fees where engaged to advise on what works are required and specialist technical e.g. Structural Engineer fees, surveyor fees or similar to determine if a DFG project is feasible.</p>	<p>Yes (including children's cases)</p> <p>First £5000 of contribution to be waived</p>	<p>Maximum of £2,000</p>	<p>Encourages local surveyors / engineers to work with District & Boroughs.</p> <p>Encourages improved schemes to be considered, so better outcome for the disabled person.</p> <p>Does not financially disadvantage the disabled person if works cannot proceed.</p> <p>Single, less complicated system for customers.</p>

<p><u>Safe and warm homes grant.</u></p> <p>Assists disabled & vulnerable people, including those with dementia or a visual impairment to make changes which supports them to live in their own home with reduced risk and for longer.</p> <p>To help low income home owners and private tenants to quickly access financial assistance for a wide range of minor adaptations and repairs to reduce risks of accidents in the home</p>	<p>Eligible for DFG. For all disabled people regardless of tenure.</p> <p>Referrals accepted from WSCC OT/A, adult social care or hospital teams, hospital based OTs, advocates, voluntary and community sector.</p> <p>Excludes care packages</p> <p>Includes:- Repairs to all disabled equipment (excluding equipment provided by the West Sussex Community Equipment Service (CES))</p> <p>Minor equipment and adaptations where CES cannot provide assistance.</p> <p>Repairs to boilers and other heating systems.</p>	<p>Yes - first £5000 of contribution to be waived</p> <p>.</p>	<p>Normally maximum of £5000</p> <p>Negotiable on a case by case basis dependent on type of works required. If works cost over £5000 then means test will be applied but first £5000 contribution will be waived.</p>	<p>Enables necessary works including repairs which have a direct positive impact on a disabled person's health.</p> <p>To help low income home owners and private tenants to quickly access financial assistance for a wide range of minor adaptations and repairs.</p> <p>To reduce risks of accidents in the home.</p>

<p><u>Council Tax Reduction to be considered a DFG passport benefit</u></p>	<p>Eligible for DFG.</p> <p>Treat Council Tax Reduction as a passport benefit under a Discretionary DFG scheme.</p>	<p>No – applicants in receipt of this benefit will not be means tested.</p>	<p>Normally up to a maximum of £30,000</p>	<p>Anticipated to help the small number of people in sole receipt of this benefit to access necessary adaptations.</p>
<p><u>Tech Grant</u></p> <p>Technology enabled care eg life line, fall detectors, key safes – for purchasing equipment and monthly fee to connect with call centre (if required)</p>	<p>Eligible for DFG.</p> <p>Available to all disabled applicants regardless of tenure.</p> <p>For a period up to 5 years</p> <p>This assistance will only be available in cases where there is particular difficulty paying the monthly rental charges, applicants will be given the opportunity to complete a financial statement of their income and outgoings which will be considered by the District and Borough Council.</p> <p>Based on WSCC “Financial Statement for Funding Towards Home Adaptations”</p> <p>Offered on a case by case basis at the discretion of the District or Borough Council.</p>	<p>Yes</p>	<p>Maximum of £3000</p>	<p>Supports a technology based approach to keeping people safe and well in their homes.</p>



ADUR & WORTHING
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Key Decision Yes

Delivering High Quality Public Realm in Worthing Town Centre

Report by the Director for the Economy

Executive Summary

1. Purpose

- 1.1 The proposal to develop a Worthing Town Centre Public Realm Strategy is detailed in a Growth Deal signed by Worthing Borough Council and West Sussex County Council earlier this year. The Growth Deal also confirms a commitment from the County Council to support the implementation of the public realm works, once approved.

The County Council commissioned the development of a Worthing Public Realm Options Appraisal Study earlier this year. Initial design options were discussed with officers, Members and stakeholders in a series of workshops held from September to November 2017. This included a presentation to the West Sussex County Local Committee on 8th November.

- 1.2 The purpose of this report is to seek the approval of Worthing Borough Council Members for the initial design options and materials palette identified in the Options Appraisal Study. In addition, to confirm the Council's preference for the Option 3 designs for Portland Road and South Street (north and south) and that these should form a first phase of public realm works; subject to the outcome of further refinement and consultation on preferred options for each of the eight areas identified.

2. Recommendations

- 2.1 To approve the development of the initial design options and materials palette identified in the Options Appraisal Study for Worthing Town Centre Public Realm, attached as Exempt Appendix A;
- 2.2 To confirm the Council's preference for Option 3 designs for Portland Road and South Street (north and south), and that these form the first phase of works; subject to the outcome of further refinement and consultation on preferred options for each of the eight areas identified.
- 2.3 To authorise officers to continue to work in partnership with West Sussex County Council to progress options to a detailed design stage and support the preparation of a business case, funding and phase plan, for further consideration and approval at a future meeting of the Joint Strategic Committee.

3. Context

- 3.1 At the beginning of 2017, Worthing Borough Council and West Sussex County Council signed a Growth Deal, which set out a number of priority projects that both Councils are committed to delivering in partnership. One of these priorities is Worthing Town Centre and the delivery of an improved public realm that meets the aspirations set out in 2016 Worthing Investment Prospectus and supports the delivery of key sites.
- 3.2 In May 2017, West Sussex County Council commissioned WSP consultants to develop a Public Realm Options Appraisal for Worthing Town Centre, including the preparation of initial design concepts and a suggested materials palette.
- 3.3 Prior to this, Worthing Borough Council had commissioned Mott MacDonald to assist in the development of a Worthing Seafront Investment Plan. Recognising the interdependencies between these pieces of work, links were established between WSP and Mott MacDonald early in the process. This has helped to ensure that design ideas are complementary, particularly in the area of Marine Parade, and in the use of the materials palette.
- 3.4 Work on the public realm has been led by the County Council's Growth Team, working in partnership with colleagues from the Borough Council's Place & Investment Service and with input from officers working on major projects in the town centre.

4. Issues for consideration

- 4.1 A diagram showing the study area for the public realm strategy is attached at Appendix B. This shows the two main pedestrian routes considered by the strategy and the key areas of focus for design (hatched green).

- 4.2 A grid approach has been used to further delineate the areas requiring public realm design solutions and, for each 'boxed' area shown on the attached plan, two or three design options have been identified.
- 4.3 The design principles for each and every option are consistent in order to ensure that, along with a common materials palette, the strategy delivers a level of quality and coherence across the town, irrespective of when each area comes forward.
- 4.4 The differences in the design options reflect the extent of hard and soft landscaping proposed, potential impacts on parking or traffic movements and/or the quality of materials used. Option one represents minimal change in an area. Options two and three represent increasingly ambitious, high quality schemes which have the potential to deliver greater economic impact, complement plans for the Seafront and regeneration of the town centre. These options use higher quality and more durable materials.

5. Engagement and Communication

- 5.1 A series of workshops were held from September through to November 2017, providing opportunities for all Worthing Borough Councillors, West Sussex County Councillors on the County Local Committee, officers from both Councils, and up to 50 stakeholders representing partner, business and community interests in the town, to view and contribute to the development of options.
- 5.2 The workshops, which were organised in partnership with West Sussex County Council, also provided an opportunity to share the design proposals emerging from the work on the Worthing Seafront Investment Plan and highlight the complementarity of designs for, and around, Marine Parade.
- 5.3 Feedback from the workshops on the rationale and design proposals for the Public Realm Strategy has been overwhelmingly positive and is being used to finalise the Options Appraisal Study report, which is expected to be publicly available from the County Council shortly.
- 5.4 A number of issues were identified that will require further investigation and engagement with partners, and these will be addressed as options are developed. Issues range from the potential to re-route buses and reconfigure on-street car parking, through to timescales and cable laying for the Gigabit project.
- 5.5 The workshops also provided an opportunity to discuss potential priorities for the first phase of public realm works. Initial feedback suggests that improvements at the railway station/ Teville Gate and Grafton car park would need to tie in with the development schemes for these sites, and that funding through these schemes will help deliver associated public realm

improvements. Other locations, including Chapel Road, were considered to be areas where minimal change was needed.

- 5.6 Initial discussions identified overwhelming support for the Option 3 proposals for Portland Road and South Street (north and south), with works in these areas having the potential to make a significant impact and provide significant economic and reputational benefits for the town.

6. Financial Implications

- 6.1 The County Council has committed £5million to the first phase of public realm works, subject to agreement of a delivery plan that outlines the phasing and funding required for different areas. The Council will also look to secure improvements through the contributions from the developments at Grafton and Teville Gate, any additional available s106 or CIL funding. The Council will also seek other private sector contributions and external or Government funding when suitable opportunities arise.
- 6.2 Consequently, the cost of any works to improve the public realm will be funded by the County Council or via other funding specifically held for such a purpose.

7. Legal Implications

- 7.1 Section 111 Local Government Act 1972 enables the Council to do anything that is ancillary to its current functions.

Background Papers

Adur & Worthing Growth Deal 2017-2022

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Sustainability & Risk Assessment

There are opportunities for the Council to work in partnership with businesses and investors to safeguard and promote the natural environment and/or to encourage investment in infrastructure and facilities that support walking, cycling and electric vehicles. These will be referenced in the Public Realm Strategy and taken forward as part of the next phases of work.

1. Economic

The proposals contribute to the delivery of Platforms for our Places and specifically: Commitment 1.6 - Investment in and delivery of Major Projects and key infrastructure and Commitment 1.9 - Creating places that businesses wish to invest in and sustain

2. Social

2.1 Social Value

The proposals contribute to the Social Economy, specifically Commitment 3.4 - Using our natural environment to promote good health and wellbeing in our places

2.2 Equality Issues

Matter considered, no issues identified.

2.3 Community Safety Issues (Section 17)

Proposals will assist by improving the town centre's amenity, increasing community activity and improving community safety.

2.4 Human Rights Issues

Matter considered, no issues identified.

3. Environmental

Matter considered, no issues identified.

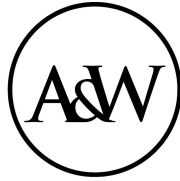
4. Governance

Reference is made to contribution to Platforms for our Places commitments at 1. and 2.1 above.

The approval and implementation of proposals contained in the Public Realm Strategy will have the potential to enhance the reputation of Worthing as a place to live, work, invest and visit. It strengthens the reputation of the Council as an authority that works in partnership and demonstrates leadership and vision.

The Public Realm Strategy is a partnership project with West Sussex County Council and forms part of the Growth Deal between the Borough and County Council. Other partners, including local businesses, public and

community organisations have - and will continue to be - involved in workshops and detailed scheme proposals.



ADUR & WORTHING
COUNCILS

Key Decision [~~Yes~~/No]

Delivering a New Vision for Worthing Seafront

Report by the Director for the Economy

Executive Summary

1. Purpose

1.1 This report recommends that Members approve the attached Seafront Investment Plan, which sets out a Vision and delivery framework to shape future investment on Worthing Seafront.

1.2 The Plan complements the proposals in the Worthing Investment Prospectus and the emerging Worthing Town Centre Public Realm Strategy. Together these documents provide a coherent and ambitious blueprint for the regeneration of Worthing Town Centre and Seafront.

2. Recommendations

2.1 That the Joint Strategic Committee approve the Worthing Seafront Investment Plan.

3. Context

3.1 The Worthing Investment Prospectus, published in 2016 and supported by West Sussex County Council, set out an ambition for Worthing to “be recognised as a highly desirable place to live, work and visit”.¹ The

¹ Worthing Investment Prospectus, page 6

Prospectus details a number of sites and opportunities that together have the potential to transform the quality and economic fortunes of the town.

- 3.2 At the beginning of 2017, Worthing Borough Council and West Sussex County Council signed a Growth Deal, which set out a number of priority projects that both Councils are committed to delivering in partnership. One of these priorities is Worthing Town Centre and the delivery of an improved public realm in line with the aspirations of the Investment Prospectus, ie “to improve the quality of the public realm [and] address level change and connection between the town centre and seafront”².
- 3.3 In Spring 2017, Worthing Borough Council commissioned Mott MacDonald to assist in the development of a Worthing Seafront Investment Plan. This Plan (attached to the report at Appendix A) provides a clear focus on securing investment to deliver an ambitious vision and series of transformational projects designed to complement and enhance the regeneration of the town centre and support delivery of key sites set out in the Investment Prospectus.
- 3.4 The Seafront Investment Plan also takes into account early design proposals emerging from the Worthing Town Centre Public Realm Strategy, which was commissioned by the County Council earlier this year. Links were established between WSP Parsons Brinckerhoff (the consultants for the Public Realm Strategy) and Mott MacDonald to ensure that design ideas were complementary, particularly in the area of Marine Parade.

4. Issues for consideration

- 4.1 The proposals set out in the Seafront Investment Plan (SIP) identify and respond to the challenges and constraints facing the seafront today; setting out ambitious but realistic proposals that will improve connectivity between the town and seafront, upgrade the quality of public realm and create a distinctive offer that will help drive footfall and ultimately deliver economic benefit for the town.
- 4.2 The Vision set out in the SIP has three primary goals: to improve public realm; activate existing assets; and secure investment in ‘Big Ticket’ attractions. A summary of the proposals contributing to each of these is provided below:

4.2.1 Improved Public Realm

To enhance pedestrian comfort levels and reduce vehicular dominance of the seafront through extended footways, new crossings, reconfiguration of traffic movements around Steyne Gardens, promenade resurfacing and enhanced street furniture and new or upgraded lighting.

² Worthing Investment Prospectus, page 15

4.2.2 Activation of Existing Assets

Revitalising seafront shelters, investing in new and creative uses for beach huts, re-configuring and enhancing the use of space in Montague Place to strengthen the link with the seafront and extend activation.

4.2.3 'Big Ticket' Attractions

Improving access to the Pier, creating additional space to support additional commercial or cultural uses and establishing the southern Pavilion as a landmark destination.

Enhancing the Active Beach Zone area, including through the creation of a Lagoon to support growing demand for watersports and create a new distinctive attraction for Worthing.

- 4.3 The Seafront Investment Plan includes a section on Funding and Delivery which examines potential sources of investment and suggests some of the steps that need to be taken to deliver the proposals. This recognises that, whilst there are options to secure external and public funding to deliver some of the initiatives, other proposals will need to attract private sector investment. However, having a clear and bold vision is essential to attract the interest of funders and with investments already planned for two of the seafront shelters, and work progressing on a number of other proposals, there is confidence that momentum can be maintained.
- 4.4 The proposals also recommend encouraging high quality meanwhile uses, including through a more proactive approach to seafront concessions, Christmas markets, and use of event spaces.

5. Engagement and Communication

- 5.1 Following a procurement process in March 2017, Mott MacDonald were selected as consultants to support consultation and development of the Seafront Investment Plan.
- 5.2 Early work included a review of the policy context, local strategies and emerging plans impacting on the seafront study area. Consideration was given to the 2007 Seafront Strategy, noting progress made over the past decade and the ideas and opportunities that had not progressed but which still had value.
- 5.3 The consultants also undertook a series of 1:1 interviews with Heads of Service from across the Council to explore perceptions, challenges, ideas and opportunities, as well as test opinions on emerging design and investment options.

- 5.4 A series of workshops, held during September and October 2017, then presented the draft vision and proposals for the Seafront Investment Plan to officers and Members from Worthing Borough and West Sussex County Councils, as well as 40-50 stakeholders representing partner, business and community interests in the town. The workshops, which were organised in partnership with West Sussex County Council, also provided an opportunity to share the design proposals emerging from the work on the Public Realm Strategy and highlight the complementarity of designs for, and around, Marine Parade.
- 5.5 Feedback from the workshops on the vision and proposals set out in the Seafront Investment Plan has been overwhelmingly positive, and feedback to date has been captured in the attached final draft of the Plan.

6. Financial Implications

- 6.1 The smaller initiatives identified under the headings 'Improved Public Realm' and 'Activation of Existing Assets' could be funded via existing revenue budgets or the capital investment programme. A number of these initiatives also align with the County Council's commitment to support and fund improvements to public realm. Where appropriate, individual capital bids will need to be submitted which will be assessed alongside other investment requirements. However, external funding will be sought where possible to ensure that the initiatives progress.
- 6.3 The projects identified as 'Big Ticket' attractions will need to be the subject of detailed feasibility work which will consider the overall financial impact and funding strategy of the proposals before the Council commits to, or seeks investment, for these items.

7. Legal Implications

- 7.1 Section 1 Localism Act 2011 provides for the general power of competence and empowers Local Authorities to do anything which generally individuals may do, in the UK or otherwise, for a commercial purpose or otherwise and for, or otherwise than for, the benefit of the authority, its area or persons resident or present in its area.
- 7.2 Section 111 Local Government Act 1972 allows the Councils to do anything which is intended to facilitate or is conducive to or ancillary to any of its functions.

Background Papers

Worthing Investment Prospectus 2016
Adur & Worthing Growth Deal 2017-2022

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Sustainability & Risk Assessment

There are opportunities for the Council to work in partnership with businesses and investors to safeguard and promote the natural environment and/or to encourage investment in infrastructure and facilities that support walking and cycling.

1. Economic

The proposals contribute to the delivery of Platforms for our Places and specifically: Commitment 1.6 - Investment in and delivery of Major Projects and key infrastructure and Commitment 1.9 - Creating places that businesses wish to invest in and sustain

2. Social

2.1 Social Value

The proposals contribute to the Social Economy, specifically Commitment 3.4 - Using our natural environment to promote good health and wellbeing in our places.

2.2 Equality Issue

Matter considered, no issues identified.

2.3 Community Safety Issues (Section 17)

Matter considered, no issues identified.

2.4 Human Rights Issues

Matter considered, no issues identified.

3. Environmental

The Seafront is an important asset and contributes to the quality and sustainability of the natural environment. Proposals in the Seafront Investment Plan are intended to protect and respect the coastline and consideration will be given to environmental implications as projects and detailed proposals come forward.

4. Governance

Reference is made to contribution to Platforms for our Places commitments at 1. and 2.1 above.

The approval and implementation of proposals contained in the Seafront Investment Plan will have the potential to enhance the reputation of Worthing as a place to live, work, invest and visit. It strengthens the reputation of the Council as an authority that works in partnership and demonstrates leadership and vision.

WORTHING DRAFT

SEAFRONT INVESTMENT PLAN 2017





Executive Summary

Worthing and West Sussex are currently experiencing a significant growth in population, creating an increased demand for services and amenities. Given Worthing's location between the sea and South Downs National Park, with direct connections to London, the borough is growing in popularity as a place to relocate to and visit. This is reflected in the number and scale of proposed developments across Worthing.

The seafront is home to a diverse range of hotels, theatres, businesses, residences, and leisure activities. As such it is also the locus for several new developments. However, the current condition and quality of its assets and public realm do not reflect the area's significance. The Lido, Seafront Shelters, and Pier could all be revitalised to boost the growing visitor economy.

These issues are true for the streetscape around these assets as well, which is currently overwhelmingly dominated by car parking spaces and a wide carriageway, prioritising vehicular traffic at the expense of other road users. This renders access to key assets such as Steyne Gardens and Worthing Pier counter-intuitive, and creates severance from Worthing town centre. Enhancing conditions for pedestrians and cyclists by reconfiguring the multiple bus stops, narrow footways, sparse seating and steps, and poor-quality paving provide an opportunity to establish the seafront as a world class place.

A public realm study for the town centre commissioned by West Sussex County Council, alongside a number of significant emerging developments at Teville Gate, Worthing Aquarena, and Grafton Car Park, present timely opportunities to transform this central part of the borough's identity and economy.

Worthing Borough Council has long recognised the

importance of its seafront to the borough. The Council has commissioned this Seafront Investment Plan (SIP) to set out a clear and comprehensive plan and delivery strategy for revitalising and renewing the town's seafront. The SIP complements the recently published Worthing Town Centre Investment Prospectus and builds upon previous studies undertaken by the Council, including the 2007 Worthing Seafront Strategy. A decade on, the time is ripe to identify a shared vision for the redevelopment of Worthing's most distinctive feature.

This report identifies investment opportunities that address the constraints and challenges facing the seafront. It has been refined through consultation with a number of key stakeholders including representatives from Worthing Borough Council, West Sussex County Council and from local community and business groups. The implementation of the series of integrated changes outlined in the SIP, which build on recent improvements in the area, will create several significant new public spaces and amenities, and provide a high-quality setting for new developments.

The Splashpoint leisure centre that emerged from the 2007 Strategy provides a positive precedent for the activation of the seafront. Over the next 10-15 years, the collective plans within this Seafront Investment Plan seek to deliver:

- Improved public realm
 - Enhancing pedestrian comfort levels and reducing vehicular dominance of seafront through extended footways, new crossings, traffic reconfiguration around Steyne Gardens, a new promenade with enhanced street furniture, and new lighting.
- Activation of existing assets
 - A new promenade with high quality paving, enhanced

street furniture, and upgraded lighting.

- Revitalising the seafront shelters and beach huts, repurposing the Lido.
- Reconfiguring Montague Place to provide activation in a key link to Seafront.
- Investment in "Big ticket" attractions
 - Revitalising the Pier to provide additional space, and creation of a landmark destination at the top.
 - The creation of a Worthing Lagoon to enhance the growing water sports industry and provide a new attraction for Worthing.
- Cater for meanwhile uses
 - Ensuring that economic activity on the seafront is maintained throughout the development.

The SIP is intended to act as a high-level development framework without statutory authority, it sets out the key objectives and spatial principles for the project in the changing development context, as well as providing financing and funding options. This establishes a framework and recommendations that can be progressed and implemented, recognising that further development and testing will be required to progress designs through the concept phase and test with the Highway authority and relevant stakeholders.



I.0 Introduction



I.0 Introduction

Ideally located between the sea and South Downs National Park, and with direct connections to London, Worthing has reinvented itself in recent years as an aspiring place to relocate to. As Worthing's residential market has gone through this "sea-change", more and more people have been encouraged to visit Worthing, often for the first time.

Worthing's seafront is one of the town's greatest assets, offering a major amenity for residents and the town's primary attraction for visitors. It benefits from physical features that few comparable coastal towns can offer:

- A long, uninterrupted and peaceful promenade.
- Regency seafront architecture.
- Well designed and utilised green spaces running parallel to the seafront.
- Excellent conditions for a number of popular and fast-growing water sports (such as kite surfing, windsurfing and paddle boarding).

Despite these strengths, Worthing faces some barriers to optimising its seafront offer. These include the long-running disconnect between the town centre and the seafront, as well as an underutilisation of key sites, limited accommodation options and a lack of activation along the promenade.

A strong seafront offer can benefit residents and local businesses, offering a high quality-of-life, inducing inward investment, and boosting the visitor economy. Worthing has an opportunity to combine the ambitions of all stakeholders to put forward a shared vision to transform the seafront and set the stage for future development. This will ensure the town continues its recent regeneration by providing a distinctive experience and sense of place.

Worthing Borough Council has long recognised the importance of its seafront to the town's success. It has commissioned this Seafront Investment Plan (SIP) to set out a clear and comprehensive plan and delivery strategy for revitalising and renewing the town's seafront. This SIP builds upon previous studies undertaken by the Council, including the 2007 Worthing Seafront Strategy.

The SIP has been developed by Mott MacDonald, acting on behalf of Worthing Borough Council. It has been developed in parallel with the Worthing Town Centre Public Realm Strategy which is being developed by West Sussex County Council.

I.1 Study area

The SIP covers the following core study area:

- From north to south, the top of the coastal road Marine Parade to the shoreline, including the promenade and the beach.
- From west to east, the 2.25km stretch from Heene Road to where Windsor Road meets the A259.

The study has focused on this central area as it is the part of Worthing seafront that is most heavily frequented by visitors and residents, and this is closest to the town centre. Getting this section right will benefit all of Worthing, whilst recognising the importance of ensuring that the whole of the town and wider Worthing seafront offers a clean and attractive environment for local residents.

The study area is shown in adjacent plan.

I.2 Structure of this document

The Worthing SIP is structured as follows:

Chapter 2: Context for the study, including the history of Worthing, the various attractions that are currently along the central seafront and the relevant national, regional, and local policy framework.

Chapter 3: Consultation documents findings from stakeholder engagement undertaken in the process of preparing the SIP.

Chapter 4: Vision outlines the key elements of the proposed SIP on Worthing's seafront.

Chapter 5: Funding and Delivery strategy for progressing the SIP, including a phased action plan.





2.0 Context



2.0 Context

The following section will review the context for the Worthing SIP. It will focus on the history of the area, relevant policy documents, land-use, future developments and highlight existing issues.

2.1 History

Worthing is a town of just over 100,000 people on the south coast of Britain. It joins several other coastal settlements (Bognor Regis, Littlehampton and Brighton & Hove) on the stretch between Portsmouth and Eastbourne and framed by the popular visitor destination of South Downs National Park.

Worthing's seafront originated as a seaside destination in the late 18th century, and by the end of the 19th century had welcomed a host of notable visitors such as Ann Radcliffe, Jane Austen, Lord Byron and Oscar Wilde, which contributed to Worthing's establishment as a resort town.

Alongside a steady growth in residents and visitors to the town, the 19th century saw the development of Marine Parade (originally known as the Esplanade) and the promenade, the successful Worthing Pier including the Pavilion Theatre, and a bandstand to the west of the Pier entrance. Over the last century, these core seafront assets have been redeveloped a number of times. In the 1950s, the bandstand was replaced with a lido. In recent years, the lido has been redeveloped as an entertainment centre. The Pier was rebuilt in the 1980s and the theatre refurbished, and more recently a café and function centre was opened at its sea end.

Building on its reputation as a successful seaside resort through to the mid-20th century, the 1970s and 80s saw Worthing become a popular retirement destination. In recent years, however, residential 'longshore drift' has been occurring as young families and other residents of working age have been increasingly attracted to move to Worthing. This has been driven both by the "pull" of the town's attractive, relaxed lifestyle and good connectivity as well as "push" factors generated by high housing prices in nearby locations such as Hove.

The Council has sought in recent years to build upon the opportunities offered by Worthing's seafront as well as its changing demographics. In 2013, the award-winning Splashpoint leisure centre was opened to widespread acclaim. The installation of Splash Pad and Gull Island children's playpark have helped create a distinctive destination that draws residents and visitors to the seafront and begun to extend the seafront's usage beyond the warmer months.

Worthing today benefits from growing visitor numbers, attracted by its distinctive heritage architecture, its literary ties and the blend of "old world" charm that the town offers combined with an increasingly vibrant, contemporary offering.



Photo Credit - Ethel Tiller - Available from www.geograph.co.uk
Worthing Pier, circa 1930.



Photo Credit - Ethel Tiller - Available from www.geograph.co.uk
Worthing Beach, circa 1930.



Photograph of Worthing Pier in the 1950s.



Inside the Lido.

2.2 Policy

There are a number of national, regional and local policies that affect the development of Worthing and provide context for the proposals of this study. The following section outlines key policies and studies relevant to this study.

2.2.1 National and regional policy context

Safeguarding and enhancing coastal communities is a key agenda item for the UK government. The Department for Communities and Local Government (DCLG) recognises the importance of preserving and nurturing coastal towns and cities - home to more than 11 million people - and a total tourism industry that accounts for the employment of 250,000 people alone, and contributes £4 billion to the UK economy. As a result, DCLG has been providing investment to coastal economies via the Coastal Communities Fund (CCF) since 2012.

Since its establishment, the CCF has awarded grants to over 200 organisations across the UK to the value of over £118 million. This funding is ring-fenced to support projects that promote sustainable economic growth and employment in locations by the sea. Analysis published in 2016 suggest that the UK's coast could receive a boost of up to £8 for every £1 invested (amounting to an annual £320 million benefit to the UK's coastal economy over the next few years).

Alongside the CCF, central government has been supporting coastal development through an initiative called Coastal Community Teams (CCTs). Since 2015, approximately 150 CCTs have been created and given a share of £1.5 million to help drive forward growth in coastal areas. DCLG confirmed their support for the establishment of a Worthing Town Centre and Seafront CCT earlier this year.

The UK Government has stated that this investment – whether through arts and heritage projects, new

business hubs and/or tourist attractions – is expected to act as a catalyst to bring partners together to help the regeneration of coastal economies and create or safeguard jobs in coastal towns.

Coast2Capital Local Enterprise Partnership (LEP), which covers Worthing, also recognises the importance of the area's seafront. Worthing is part of Coastal West Sussex, one of five identified sub-areas within the LEP's Strategic Economic Plan. Tourism is identified as a sector of major importance to Coastal West Sussex, along with the engineering and digital sectors.

2.2.2 Local development policy context

Worthing Borough Council has started work on preparing the new Worthing Local Plan, which will drive development and planning in the Borough in the period up to 2033. The emerging Plan (put out to consultation in 2016) recognises the seafront as the main focus for tourism alongside the town centre and looks to build on the seafront's history as a tourism destination.

The SIP provides an opportunity to set out a vision and comprehensive set of development options for Worthing's seafront. Where appropriate, these options may be included in the statutory development framework for the Borough through the Local Plan.

2.2.3 Worthing Town Centre Investment Prospectus

In 2015, West Sussex County Council (WSCC) worked with the Borough Council on the commissioning and development of the Worthing Investment Prospectus. This document, which was published in 2016, sets out a broad vision for the town centre and identifies a number of key development opportunities expected to come forward over the next ten years. The Investment Prospectus also sets out an aspiration for an improved public realm and WSCC subsequently commissioned WSP | Parsons Brinckerhoff (referred elsewhere in this document as WSP), to work with both Councils on the development of

a public realm strategy.

This work has run in parallel with the SIP and the opportunity has been taken to progress joined-up solutions for both the seafront and the town centre. These two studies share a study area boundary and many of the challenges that Worthing faces are true for both the town centre and its seafront. There has been ongoing communication between the teams working on these studies throughout their development and the recommendations set out in each study complement and reinforce each other.

2.2.4 Worthing Seafront Strategy, 2007

The Worthing Seafront Strategy provided a vision to help reverse the decline of Worthing seafront and to create a vibrant destination which would be inclusive and attractive to a wide range of people including residents, visitors, investors and businesses.

The strategy focused on the following concerns;

- The quality and limited range of activities and facilities along the seafront
- Safety and security, particularly after dark
- The untapped potential of the Pavilion, Pier and the Lido
- The provision of facilities for cyclists along the seafront
- The lack of leisure facilities to meet the needs of young people
- General requirements for upgrading the appearance of the promenade.

This study will build upon the proposals of the Worthing Seafront Strategy.

2.3 Development context

Worthing Borough is undergoing significant development and change. As populations grow, the provision of new walking and cycling routes, as well as high quality public spaces and amenities becomes increasingly important. The Emerging Plan (put out to consultation in 2016) recognises the seafront as the main focus for tourism alongside the town centre and looks to build on the seafront's history as a tourism destination. It will undoubtedly reinforce the need to accommodate growing numbers of pedestrians and cyclists on Worthing's streets, through the promotion and improvement of the suitable routes, centred on the Seafront.

Around Worthing's seafront area, several major development schemes are in various stages of planning and construction, and are likely to transform the way people move through and use this part of the borough. Major schemes outlined in the Worthing Investment Prospectus that have the potential to impact the seafront include the Grafton development that will provide a new link to the seafront for retail and leisure development comprising both residential and retail uses; new public realm plans that will improve active travel connections between the seafront and the train station; and the Stagecoach site that could provide a new site for Worthing's creative

economy. The culmination of these projects as part of a wider package of investments across the Borough have a potential to create 1,000 new homes and nearly 3,000 new jobs over the next decade.

It is important that a vision for the Worthing's Seafront recognises these changes and allows for their potential impacts.

The frontages seen in the plan fall into three categories, active, passive and blank. Active frontages have a direct interaction with the streets on which they front, providing public uses, while passive frontages have a less direct relationship with the street, such as a window display. Active frontages are concentrated around the Pier, spanning from Montague Place to Steyne Gardens. In this area, entrances to cafés and theatres animate the Seafront.

The frontages of the Lido and the Splashpoint are presently inactive and blank despite there being high levels of activity there. The potential for development at the Grafton, the Stagecoach site, and an expansion of the Splashpoint provide an opportunity to extend active frontages along a wider area of the Seafront.





Teville Gate

Civic Site

Union Place

Stagecoach

Grafton

Public Realm

Aquarena

2.4 Case for change

There are a series of challenges that face the Worthing seafront, which together make the case for change that sits behind this call for investment. The challenges form the basis of Worthing Borough Council's strategy for redeveloping the seafront. The next section describes the issues and opportunities facing Worthing seafront.

2.4.1 Issues

Finding the seafront

Currently, the journey for pedestrians between Worthing station and the seafront and town Centre is convoluted and poorly signposted with no clear sense of navigation on the route. The seafront is not visible on exiting the railway station and the route to it unclear and difficult to manage for first time visitors. This is significantly restricting the experience and understanding of what Worthing has to offer for those visiting by train, and gives an underwhelming first impression of the town. The contrast to, for example, Brighton train station is stark, where Queens Road / West Street offers a direct visual connection to the seafront and a gateway to the seafront and town centre.

Having reached the town centre, there is no clear physical or visual connection between the town centre and the seafront. Prime examples, such as the north-south connections between East Street, Warwick Street and Marine Parade provide no clues to help passers-by connect these two areas. North-south links have the potential to be gateways to reconnect the seafront however the existing design of these links is focussed on vehicular access and on-street parking, rather than pedestrian access. This presents a missed opportunity in terms of extending footfall from the primary retail area to the seafront.

Worthing Station and public realm/transport access throughout the town centre sit outside of the immediate scope of the SIP, however improving the quality of the journey from the station to the town centre has been considered in the emerging Worthing Town Centre Public Realm Strategy and some of the proposals from that study are included in the SIP to aid clarity and ensure complementarity.



View on South Street towards the Seafront



View on Brighton Road towards Steyne Gardens



Subway on Chapel Road leading to Town Centre



DEVILLE GATE CAR
PARK

TOWN HALL &
ASSEMBLY HALL

TAXIS & BUSES

RAILWAY STATION (1/2 mile)

POLICE STATION &
CONNAUGHT THEATRE

CIVIC OFFICES, LI
& LAW COURTS

TOWN CENTRE &
SEAFRONT (1/2 mile)

Worthing Seafront Challenges

- Finding the Seafront
- Connections to the seafront
- Marine Parade
- The Promenade
- Assets and Activation
- WSP Study Area



Connections from the seafront

The plan, left, provides a contextual overview of how the seafront relates to the town centre and up through to the train station. This shows the core transport and access links to the town and seafront, and the primary retail area that runs parallel to the seafront.

Each section of the seafront was loosely defined in the 2007 Worthing Seafront Strategy. These definitions still resonate today, and the options set out in the SIP have been developed to follow the intent of these categories:

- Western Gateway - the long expanse of promenade to the west of the Pier acts as an informal area for residents to enjoy the seafront.
- Visitor hub - the prime frontage from the Lido (west of the Pier) to Steyne Gardens (east of the Pier) acts as a hub for the seafront's entertainment offer.
- Heritage Quarter - between Steyne Gardens and Warwick Road offers an insight into Worthing's seaside heritage.
- Active Beach Zone - the area surrounding Splashpoint and the East Beach huts offers a host of active leisure opportunities for visitors and residents.



View on Montague Place towards the Seafront.



View from Seafront towards Grafton Car Park



View from Seafront towards Bedford Row

Marine Parade

Marine Parade is the coastal road along the promenade and is the focal point where most visitors access the seafront. It is an important east-west traffic link in Worthing's traffic network, but it is one that gives most space to vehicles. The road is the key barrier to movement for pedestrians and cyclists to the seafront. The combination of a wide carriageway, on-street parking and limited crossing opportunities significantly reduces the permeability of the environment and isolates the seafront from the town centre.

Pedestrian access to the primary seafront frontage surrounding Worthing Pier is overcomplicated by the roundabout junction at Marine Parade, which is further compounded by a wide carriageway, on-street parking and limited pedestrian crossing opportunities. What should be a permeable, uncluttered and straightforward connection to welcome visitors and residents from the town centre is currently inhibited by these elements of over-design.



View along Marine Parade



View along Marine Parade

Promenade

When pedestrians make it to the historic promenade, its existing design and layout does very little to encourage visitors to spend time in the area - instead it is used mainly for pedestrians and cyclists moving through the area. The difference in level between the coastal road and the raised promenade further restrict access, and street clutter such as bollards and guardrailings reduce the attractiveness of the promenade and restrict pedestrian permeability.

The issue of maintenance, inaccessibility and street clutter is particularly pertinent to the section of promenade between The Lido and Steyne Gardens which should be the prestige section of promenade for the town. Small scale interventions, such as outdoor seating and improved material palettes, could create more inviting environments which actively encourage people to spend time in the area. The current concrete footway and street furniture do not engender a sense of place.



View showing change in levels on the promenade.



Example of existing street furniture on the promenade.



Street clutter on the promenade.

Building assets and activation

There are several key buildings along the seafront, including Worthing Lido and the Pier, which are failing to meet their potential as key landmarks for the seafront. Improving the activation of these assets and their connection with the surrounding area is essential for promoting the seafront and giving visitors a reason and a desire to spend time in the area. The key point for the SIP is that these structures are already in situ and therefore perfectly poised for restoration.

- The Lido

The art deco designed Lido has an iconic site, located to the west of the Pier, and allows for fantastic sea views.

Previously an open-air swimming pool, the Lido is currently an entertainment centre featuring a family amusements arcade and a series of children's rides and activities.

Given the architectural design of the building, this is a prime asset on the seafront and lends itself to a more commercial and innovative use to help make Worthing more of a signature destination.

- The Pier

Worthing Pier, built in 1862 and rebuilt in the 1980s, is perhaps the primary asset on Worthing's seafront. It has considerable architectural status, being runner up in for two years in a row in the 2016 and 2017 Pier of the Year Award, and provides an iconic focus for the town.

The Pavilion Theatre is the main entrance to the Pier, which extends to the art deco Southern Pavilion restaurant at the end of the Pier. Along the Pier are displays of public art, with a small offering of amusement arcades in the middle of the Pier.

Despite the Pavilion Theatre's attractive design, its design can make accessing the Pier unclear and difficult for visitors. There is a key opportunity to emphasise access routes and encourage greater usage of this key seafront feature.



Worthing Pier



The Lido.



Existing beach huts.



Under utilised Seafront Shelters on the promenade.



Access point to the Pier

2.4.2 Opportunities

Alongside evidence of residential ‘longshore drift’ from neighbouring areas, Worthing remains a coastal destination for many visitors. Recent data from a study of visitors to towns in coastal West Sussex (including Worthing) give some valuable insights into the current profile of visitors to Worthing, and suggest opportunities to further develop the town’s visitor economy.

The majority of visitors to Worthing are aged over 65 (34 percent) and from within the UK (over 90 percent). Visitors primarily come to Worthing from Sussex or Surrey, and some from London, generally making their way to Worthing for a day trip (66 per cent).

Re-visioning the seafront and its role in Worthing’s visitor offer presents an opportunity to convert these day visitors to overnight stays, which generally results in a higher visitor spend and greater impact on the local economy. More could be done to capture the imagination of visitors and provide a more comprehensive visitor offer throughout the year.

It is also important to build on Worthing’s perceived strengths. The study notes that visitors identify these as relaxing and enjoying the scenery, and the seafront, promenade, beach and pier are consistently rated as the best things about visitors’ trips to Worthing. The opportunity exists to capitalise on these defining features of the seafront and offer visitors an enhanced environment to enjoy these assets, with additional activities to stimulate interest year-round.



Cyclists on the promenade



Walkers on the promenade



Existing cafe on the seafront

Steyne Gardens

Steyne Gardens is located to the east side of Worthing Pier. The gardens are a conservation area, and feature some of the town's most significant architecture. The landscaped gardens offer a popular recreation and events space for the town.

At present, the road layout around Steyne Gardens isolates the area and inhibits its connection to the seafront and wider town centre.



View of Steyne Gardens from Marine Parade.



Photo Credit - Paul Gillett - Available from www.geograph.org.uk

View of Steyne Gardens towards the Seafront.

Coastal Sports

The coastal stretch from Goring to Worthing and along to Lancing forms the heart of water sports in Sussex.

Worthing has a large tidal range and its suitable conditions allow for many different types of water sports.

Many water sport centres (such as kite and wind surfing, and stand-up paddle boarding) are established on the eastern stretch of this section of the seafront.



Photo Credit - Henry Burrows - Available from www.flickr.com

Coastal Sports in Worthing.



Splashpoint leisure centre and swimming pool.



3.0 Consultation



3.0 Consultation

Worthing's seafront is hugely important to residents, visitors, businesses and community groups. In developing the SIP, Worthing Borough Council has, in conjunction with West Sussex County Council, undertaken early engagement of stakeholder views on the proposals contained in this Seafront Investment Plan and the complementary Town Centre Public Realm Strategy. Once individual proposals are refined and more detailed designs come forward, further engagement and consultation will follow.

3.1 One-on-one interviews

A series of one-on-one interviews were conducted with Heads of Service from different departments at Worthing Borough Council. This included Planning & Development, Parks & Foreshore, Culture, Place & Investment, and Customer Contact & Engagement. The interviews explored perceptions and the challenges that the seafront currently faces, ideas and emerging proposals for the space, and opinions on the emerging design and investment options. Bringing these multi-disciplinary perspectives together has provided a strong foundation for the vision proposed in this SIP and the subsequent stakeholder workshops.

3.2 Stakeholder Workshops

A series of design workshops were hosted by Worthing Borough Council during September 2017 to discuss the proposals for both the Worthing SIP and the Worthing Town Centre Public Realm Strategy. The workshops were attended by officers and Councillors from Worthing Borough Council and WSCC, and a broad range of community and business representatives.

Key findings include:

- Connectivity is a challenge – stakeholders commented that the seafront can feel cut off from the wider town, and it can be challenging for new visitors to identify how to access the seafront.
- The seafront requires activation – there is a lack of key “anchor” destinations for visitors along the seafront, and the area could benefit from greater activation more widely along its length. Proposals should consider increased seating, improved lighting, mini retail units, and re-surfacing of the promenade.
- Worthing Lido - proposals should include additional attractions – as well as reinstatement of a heated pool - including increased active frontage, restaurants and cafes.
- Worthing Pier – the existing entrances to the Pier could be improved to further enhance its appeal
- Transport Interchange – Improve the quality of interchange between the bus station and the main railway station.
- Car Parking – the provision of parking in the town centre needs to be reviewed in greater detail.
- Inclusivity is critical – any strategy needs to take into consideration the needs of all residents, including families and older residents.







4.0 Vision







4.0 Vision

4.1 Principles for the Vision

The investment vision outlined in this document builds upon the previous work of the Seafront Strategy (launched in 2007) the Town Centre Investment Prospectus, and the emerging local plan.

This vision establishes an integrated framework for the revitalisation of assets, public realm improvements, the reconfiguration of traffic, and the expansion of leisure and cultural activities in a way that can transform the Seafront into a civic and business-friendly space at the heart of Worthing and West Sussex.

These improvements to the public realm will establish an enticing and distinctive year-round seafront for all that offers infrastructure, facilities and activities that meet the needs of young and old residents and visitors alike. This vision aims to highlight the importance of an accessible seafront, developed in line with the rich cultural, active leisure and heritage architectural offer but also acknowledging the commercial drivers that need to be present to help make this vision a reality.

Through analysis and stakeholder consultation, the vision is structured around the four key components listed below to unlock the Seafront's inherent potential over the next 5-10 years. Each of the components is supported by individual measures which are detailed further in this section.

4.2 Improved public realm and pedestrian access to seafront

The proposals for Marine Parade would transform the appearance of the corridor and promote pedestrian priority throughout Marine Parade and Wordsworth Road to the west and Steyne Gardens to the east. The design proposals for Marine Parade and the promenade form the spine of the proposals for Worthing Seafront and form the key link in connecting all other proposals.

4.2.1 Worthing Pier and Marine Parade public realm

Marine Parade is a key severance feature and the main barrier to movement in Worthing between the Town Centre and the Seafront. The combination of constant vehicular traffic, on-street car parking spaces, and limited crossing opportunities results in a particularly poor and impermeable environment for pedestrians and cyclists. Formal crossing points are provided along Marine Parade however they do not necessarily align with key pedestrian desire lines and pedestrians' dependence on these crossings reduces the overall permeability of the corridor.

The key proposals for Marine Parade between Grafton Car Park and The Steyne would include:

- South Street Roundabout – the existing roundabout would be converted to a priority junction with new pedestrian crossings on all arms. Removing the roundabout would create significant new public realm opportunities enabled through the reduction of the junction's footprint. Reducing the junction's footprint would also allow the relocation of existing crossings to be better aligned with the key desire line between South Street and the promenade.
- Narrowed Carriageway – improving pedestrian permeability of Marine Parade is a key design feature to reduce the severance caused by the coast road. Narrowing the carriageway width will reduce crossing distances, improve pedestrian permeability and encourage more informal crossing of Marine Parade.
- Recessed Parking Bays – all existing parking bays would be recessed within widened footways between Augusta Place and The Steyne. This design would maintain existing levels of parking on Marine Parade, whilst also increasing the flexibility of the footways when not in use by vehicles. Incorporating the parking bays within the footways would also serve to improve the permeability of Marine Parade by reducing crossing distances.

- Raised Table and surfacing – to further reduce the severance caused by Marine Parade, the carriageway would be raised to footway level throughout the town centre and would also be re-surfaced in a complementary colour to reduce the highways feel of Marine Parade and reconnect the promenade with the Town Centre.



- BEACH HUTS**
New beach huts will bring much needed purpose and character to the western promenade and activation to the western promenade.
- NEW PEDESTRIAN CROSSINGS**
Sixteen pedestrian crossings will be installed in a new pedestrian crossing throughout the promenade.
- PROMENADE RE-SURFACING**
The full width of the promenade would be re-surfaced in a new durable and durable surfacing.
- WIDENED FOOTWAYS + RECESSED BAYS**
All footways will be widened to accommodate recessed seating and outdoor surfacing.
- SEAFRONT PAVILIONS**
Covered structures will be added to the waterfront to provide shelter for pedestrians and seating for outdoor seating.
- MONTAGUE PLACE BOX PARK + RECESSED BAYS**
The existing carpark will be re-surfaced and a new carpark will be added to the waterfront to provide shelter for pedestrians and seating for outdoor seating.
- WORTHING LIDO**
The swimming pool will be re-surfaced and a new lido will be added to the waterfront to provide shelter for pedestrians and seating for outdoor seating.
- PROMENADE PLACE BOX PARK + PUBLIC ART**
The public realm improvements on Montague Place and Lido will be re-surfaced and a new carpark will be added to the waterfront to provide shelter for pedestrians and seating for outdoor seating.
- SOUTH STREET ROUNDABOUT**
The roundabout will be re-surfaced and a new roundabout will be added to the waterfront to provide shelter for pedestrians and seating for outdoor seating.
- WORTHING PIER**
The pier will be re-surfaced and a new pier will be added to the waterfront to provide shelter for pedestrians and seating for outdoor seating.
- RETAINING WALL + OUTDOOR SEATING**
A new retaining wall will be added to the waterfront to provide shelter for pedestrians and seating for outdoor seating.
- STEYNE GARDENS**
The Steyne Gardens will be re-surfaced and a new garden will be added to the waterfront to provide shelter for pedestrians and seating for outdoor seating.
- SUSSEX WATER WORLD**
The Sussex Water World will be re-surfaced and a new water world will be added to the waterfront to provide shelter for pedestrians and seating for outdoor seating.
- BEACH HOUSE PARK**
The Beach House Park will be re-surfaced and a new park will be added to the waterfront to provide shelter for pedestrians and seating for outdoor seating.
- WORTHING LAGOON**
The lagoon will be re-surfaced and a new lagoon will be added to the waterfront to provide shelter for pedestrians and seating for outdoor seating.



Visualisation of junction of South Street and Marine Parade looking South towards The Pier Pavilion.



Visualisation of junction of Marine Parade and the Lido.

4.2.2 Pedestrian crossings along Marine Parade

Pedestrian permeability between the promenade and Town Centre will be transformed by installing new pedestrian crossings throughout Marine Parade. Existing crossings will also be upgraded to complement the new crossing points.

As well as increasing pedestrian permeability, the new crossing points will create vital links between the reinvigorated promenade and the Town Centre. For example, upgrading the existing crossing at the bottom of West Buildings will significantly improve the connection between the pedestrianised Montague Street and the promenade, and also act as a new western gateway into the Town Centre.

The design of the crossings will be inspired by examples of best practice from London and Southend Promenade where crossings have been designed to become focal points for pedestrians and reinforce pedestrian priority over other road users. The examples from London have used striking colours and patterns to highlight crossing points at key junctions. The crossings in Southend have been designed to the maximum permitted widths in UK standards to maximise the accessibility and visibility of the crossing points.



Crossing on Southwark Street, London, designed by Camille Walala.



Crossings in Brixton, London, designed by Eley Kishimoto.

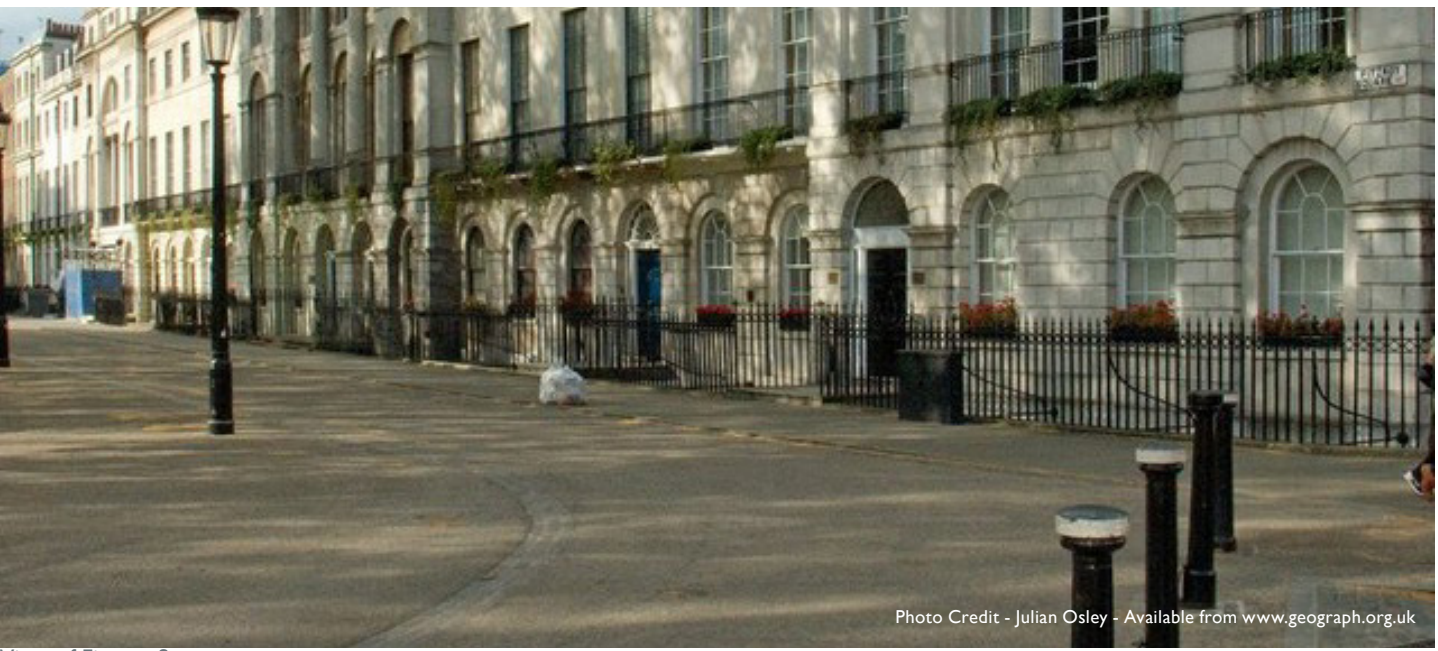
4.2.3 Steyne Gardens public realm improvements

The proposals for Steyne Gardens would celebrate the historic qualities of the area and reinstate the sense of square and enclosure. The Steyne is the key gateway for anyone approaching Worthing by road from the east – however the Steyne is dominated by the road network which creates a roundabout that encircles the gardens.

The design proposals are focussed on reducing the impact of through traffic on The Steyne by ‘Peninsular-isation’ of the square which would remove general traffic from the south side of the square and join the square directly with the promenade. The highways and surface treatments would also be extended northbound beyond the square to reaffirm the Steyne Gardens as a gateway and to improve the public realm on Brighton Road. The ‘Peninsular-isation’ of the square would require modifications to the existing traffic management in the area with all westbound vehicles using The Steyne to access Marine Parade and all eastbound vehicles using Steyne Gardens to access York Road and Warwick Road.

As well as improving the quality of space within the square itself, the improvements would make the square the key gateway into Worthing for anyone approaching the town centre from the west. The improvements would send a clear message to visitors that the town centre is improving and that the emphasis of the seafront has changed, rather than merely being an access road to local car parks.

The precedent study of Fitzroy Square shows how reasonably modest improvements to the public realm have transformed the spaces and how this has directly benefitted the local highways network surrounding these squares.



View of Fitzroy Square.

Photo Credit - Julian Osley - Available from www.geograph.org.uk



View of Fitzroy Square.

Photo Credit - Anders Hanson - Available from www.flickr.com

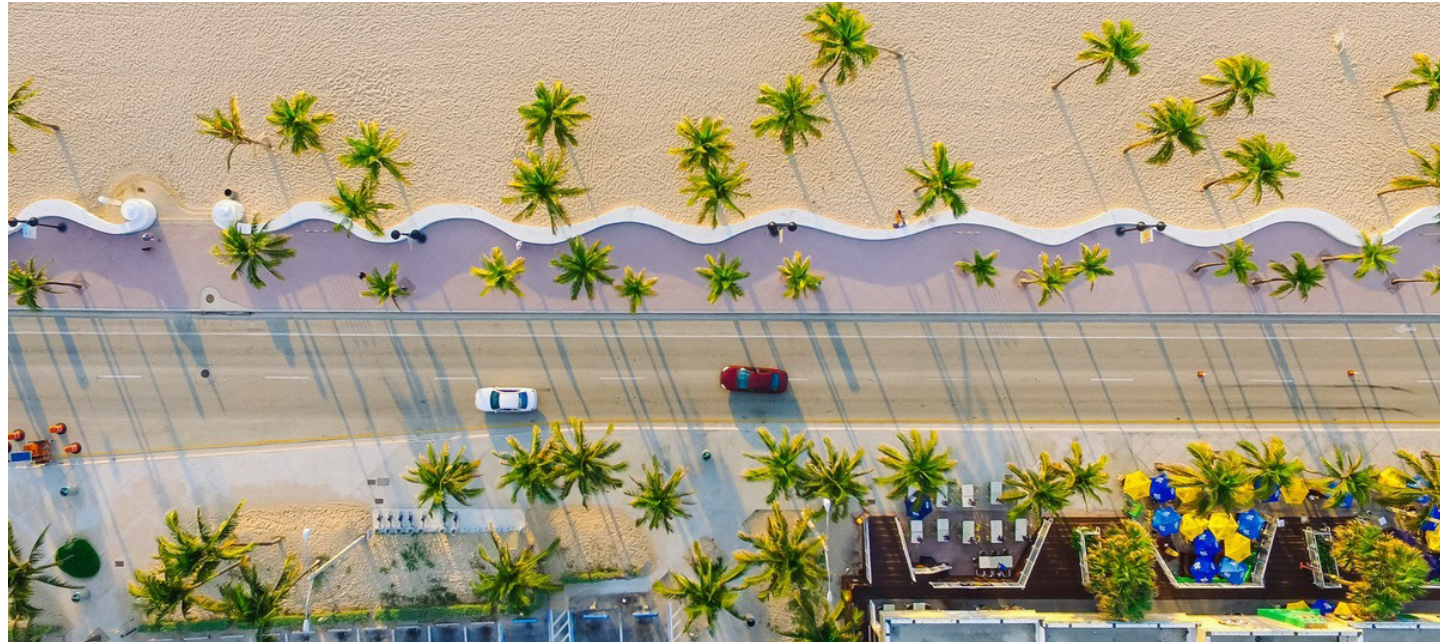
4.3 Activation of existing assets

The combined public realm proposals for Worthing Promenade and Marine Parade will reconnect the seafront with the town centre and transform the seafront's appeal as a regional destination. The key design criteria for the promenade will be to create a sense of purpose and encourage passers-by to spend time making use of the seafront.

4.3.1 A New Promenade

Currently the promenade feels neglected and lacks its own sense of identity to distinguish itself as a distinctive, coherent space. Consequently, most pedestrians tend to pass along the promenade without spending time accessing the seafront. Therefore, the key design criteria for the promenade is to create a sense of purpose and encourage passers-by to spend time making use of the seafront. The key design components of the promenade proposals are:

- **Retaining Wall and Outdoor Seating:** a new retaining wall would be installed throughout the promenade along the back of the beach. This wall would provide a sense of enclosure for both the beach and seafront but more importantly the wall would provide outdoor seating and therefore a place to rest and enjoy Worthing beach. The retaining wall would also improve the durability of the promenade and provide shelter during poor weather conditions.
- **Promenade Resurfacing:** the proposals would resurface the full length of the promenade in a complementary surface and colour to the material palette used for the Marine Parade public realm proposals. Continuing the same palette through this space would help to unify the seafront and town centre and help to overcome the perception of Marine Parade and the seafront as barriers to movement.
- **Complimentary Measures:** the design proposals for the promenade compliment a wider package of measures for the seafront which includes the proposals for the Lido and Pier, Marine Parade and the Seafront Shelters.



Aerial view of Promenade Fort Lauderdale.



Photo Credit - Israel Tourism - Available from www.flickr.com

Tel Aviv Port urban regeneration.



Photo Credit - Israel Tourism - Available from www.flickr.com

Tel Aviv Port urban regeneration.

4.3.2 Seafront Shelters

Utilisation of existing space and infrastructure along the promenade and coastal road is a key way of providing a more exciting and varied offer for those visiting the seafront. Currently there are a series of buildings located along the promenade which have the potential to become the anchor points for the wider proposals for Worthing Promenade and have been identified as essential to the regeneration of Worthing Promenade. The Steyne Gardens and West Buildings' Shelters have particular potential for transformation into restaurants and cafes which would enhance and activate these areas and support the town's night-time economy.

The recent transformation of Brighton's seafront and Band Stand exemplify how traditional features of the seafront have been seamlessly integrated with new contemporary installations which have reinvigorated a section of the seafront that was previously neglected and dilapidated. The West Beach Café in Littlehampton is a particularly interesting precedent as it has created interest and activity in a location that is quite dislocated from Littlehampton town centre and has become an attraction in its own right. The combined potential of Worthing's seafront structures and local best practice from Brighton and Littlehampton create a compelling vision for bringing the identified buildings along Worthing seafront back into use.



Southend Pier Cultural Centre by White Arkitekter.

Photo Credit - Chris Morgan - Available from www.geograph.org.uk



The Band Stand at Brighton Seafront.

Photo Credit - Martin Pettitt - Available from www.flickr.com



West Beach Café in Littlehampton by Asif Khan Architects.

Photo Credit - Lucy Djvedet - Available from www.flickr.com

4.3.3 Montague Place 'Boxpark'

A focal point of all proposals for Worthing seafront is improving both the visual and physical connections between the seafront and town centre to encourage increased footfall between the two. Montague Place has been identified as a key space within the town centre as it has a direct link to the seafront. However, the existing layout of Montague Place provides few reasons for passers-by to spend time in the area and the layout also fails to promote the connection with the seafront. This space, sitting north of Marine Parade in between the prime frontage of the Lido and the Pier, also presents a perfect opportunity to draw visitors to the area and remain in the vicinity of the seafront, therefore contributing to the challenge of limited activation on this stretch of seafront strip.

Despite recent improvements in Montague Place, the space could be enhanced further to improve its capacity for hosting events and strengthen the link with the seafront. The proposals for Montague Place would focus on creating a new 'Boxpark' style development in its north-eastern corner which would host small commercial units including shops, restaurants and cafes. The existing highways layout could also be reconfigured to reduce the visual impact of parked vehicles on the space and in doing so enhance the pedestrian connection with the seafront and promenade.

The 'Boxpark' concept has flourished recently, particularly in London, in locations which have needed an injection of activity in order to promote and enable wider regeneration aspirations. Croydon Boxpark has become the centrepiece of improvements to the town's centre and has generated activity and early interest in the area and prior to the completion of any 'major' developments in the area. Croydon Boxpark was recently awarded two major architectural awards from New London Architecture in the 'Meanwhile' category and the RIBA awards for 'Outstanding contribution'.



Boxpark Shoreditch, London

Photo Credit - Jason Paris - Available from www.flickr.com



Pop Box, Brixton, London.

Photo Credit - Su May - Available from www.flickr.com



Pop Box, Brixton, London.

Photo Credit - Ewan Munro - Available from www.flickr.com

4.3.4 Beach Huts

The installation of new beach huts along the western stretch of the promenade will bring much needed purpose and activation to Worthing's west promenade between West Buildings and Wordsworth Road. The location of the huts would link directly with the proposed public realm proposals and materials palette for Marine Parade.

The proposals would seek to diversify the use of the beach huts beyond the traditional rental models and create a 24/7 purpose to this section of the seafront. The additional uses could include pop-up shops and cafes, and overnight accommodation. The examples from The Strand in Shaldon demonstrate how the regenerated beach huts have reinvigorated the seafront and provide a new resident population for Shaldon's seafront. The location of the beach huts would complement the proposals contained in Adur & Worthing Councils' 'Beach Huts Revenue Strategy Development' for Worthing seafront and also align with the proposed public realm improvements on Marine Parade and the promenade.



Photo Credit - Mark Coleman- Available from www.flickr.com

Beach huts, Shaldon.



Photo Credit - Robin Stott - Available from www.geograph.org.uk

Beach huts, Shaldon.



Photo Credit - Ewan Munro- Available from www.flickr.com

Existing beach on Worthing Seafront.

4.4 'Big Ticket' Items

Worthing benefits from a range of high value assets, which are currently not being used to their fullest potential. The Lido, Pier and Worthing's active leisure offer are pre-existing assets which position Worthing above many other seaside towns. In order to set the seafront apart from its competitors, investment in these 'big ticket' items and the opportunities they provide is essential to define Worthing as a distinctive place along the UK's crowded south coast.

The Lido and Pier are the centrepiece of the Seafront Investment Plan, and the two pre-eminent landmark structures on Worthing seafront. The Lido and Pier are synonymous with Worthing's history as a seaside resort and their regeneration is crucial to fulfilling the seafront's potential.

4.4.1 The Lido

The existing design and layout of the Lido does not do justice to its historic setting and does not encourage visitors to spend time there. The ambition for the Lido is focussed on reinstating its swimming pool and maximising the quality of existing commercial units within the Lido. The opportunity exists for the Lido to be a year-round attraction that will be protected from the seafront whilst also creating a seamless experience between the pool and seaside by opening up the building's façade and exterior.

The recent regeneration of several Lidos in the UK, including Bristol and Saltdean Lido, has demonstrated the nostalgic value that Lidos still offer in seaside towns. Bristol Lido is particularly inspiring and has reinvented itself as a Lido and also a spa retreat with restaurant, which further broadens its appeal and extends its usage throughout the year.



Bristol Lido

Photo Credit - Nick - Available from www.flickr.com

Bristol Lido

Photo Credit - David Hallam-Jones - Available from www.geograph.org.uk

Saltdean Lido

Photo Credit - Malcolm Rose- Available from www.flickr.com

4.4.2 The Pier

A key challenge for the Pier is improving its interface with the town centre and creating a more welcoming entrance into the Pier complex. The Pier forms the key visual connection between the town centre and seafront however the poor quality of entrances and road layout surrounding it significantly undermine the Pier's offer to the town centre. Currently, pedestrians can only access the pier through its side entrances which does not create an enticing experience for visitors to one of the town's key tourist attractions.

Another challenge for the Pier is to diversify the attractions on the pier and improve its existing commercial offer. The proposals in this study seek to widen the existing northern section of the pier itself in order to enable the installation of new commercial structures on the pier. Addressing these challenges will require fundamental changes to the Pier's design and layout – especially if the floorspace available for commercial use is to be increased. However, improving the pier's appeal is integral to re-connecting the seafront and promenade with the town centre.

The design proposals for the Pier seek to increase the number and quality of entrance points onto the Pier from the Promenade on the building's main southern facade, which would significantly improve the visual connectivity between the Pier and Marine Parade. The proposed structural enhancements would widen the existing Pier structure between the Pavilion Theatre and Pier Amusements to enable the installation of new commercial units and additional seating on the Pier. The designs for the Pier would tie into the wider proposals for the area including the removal of the South Street roundabout and public realm proposals for Marine Parade.

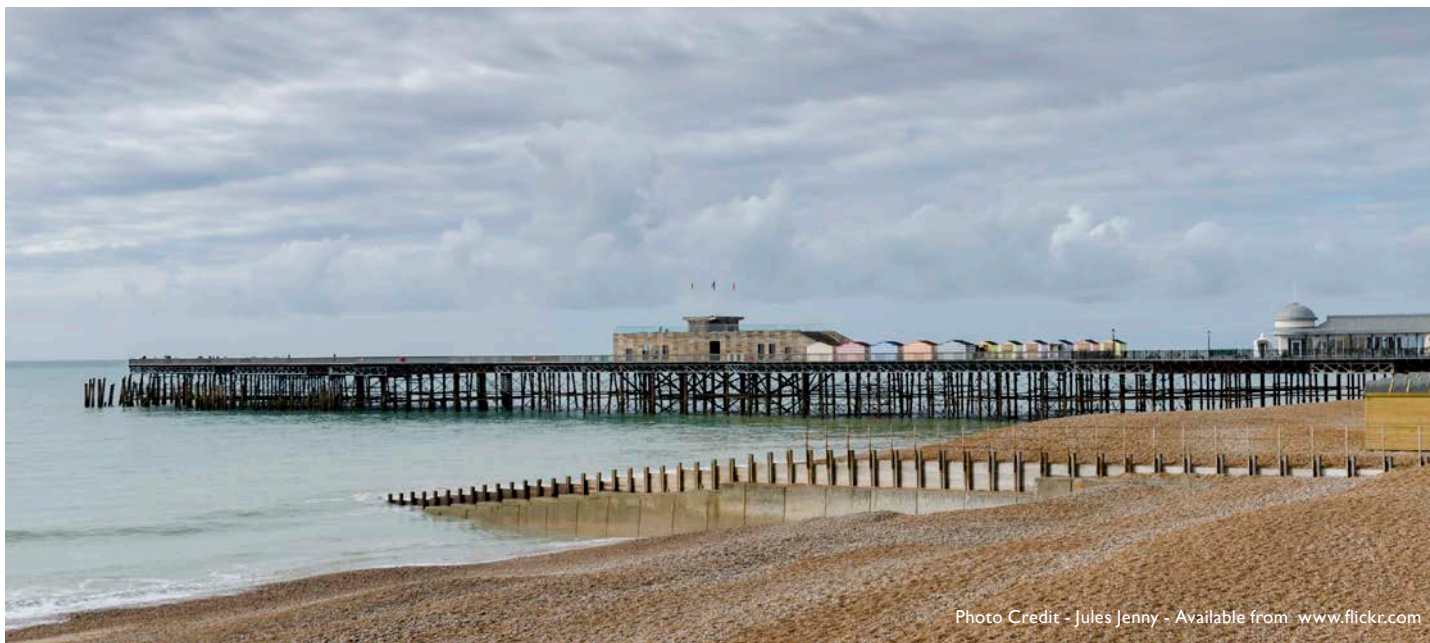


Photo Credit - Jules Jenny - Available from www.flickr.com

Hastings Pier renovation designed by dRMM.

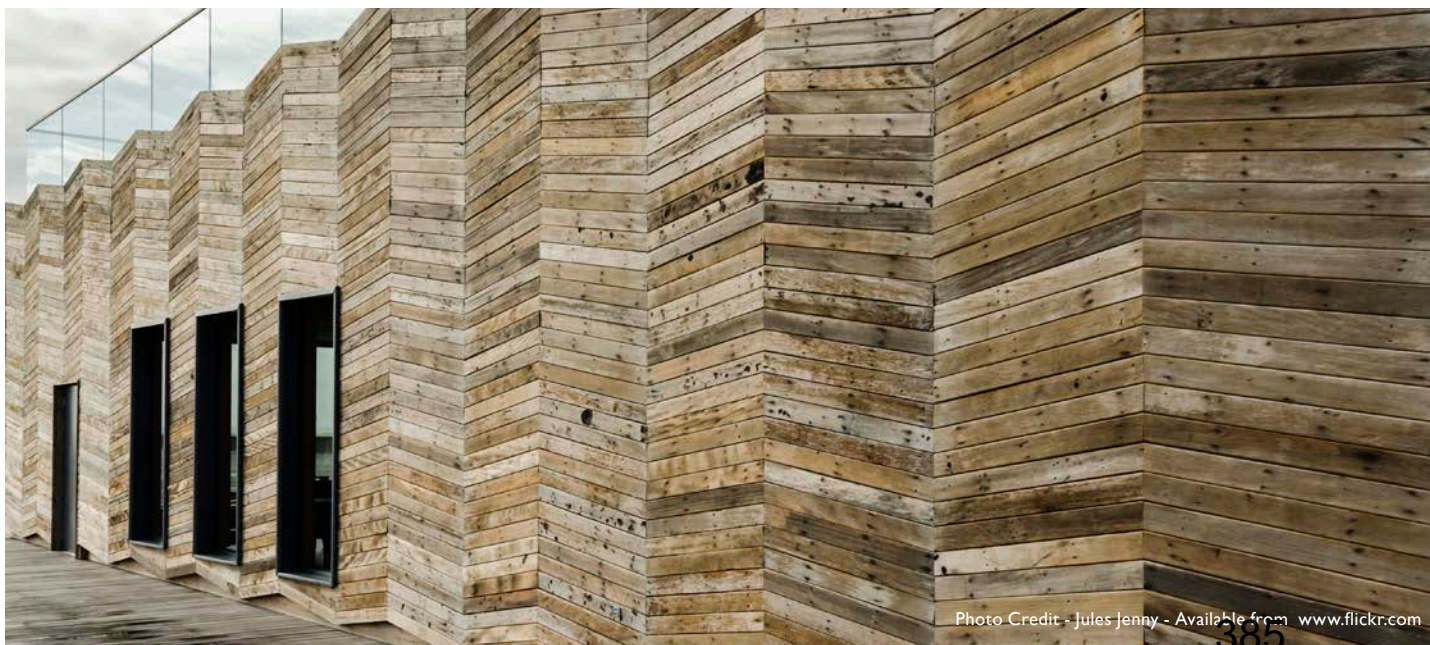


Photo Credit - Jules Jenny - Available from www.flickr.com

Hastings Pier renovation designed by dRMM.

4.4.3 Worthing Lagoon

The proposal for Worthing Lagoon is for it to become the centrepiece of Worthing's new watersports centre and seafront development. The Lagoon would ensure year-round access to this section of the coastline for outdoor activities such as windsurfing, kayaking and sailing. The proposals would include pedestrian access along the breakwater which would further increase the range of available activities in the Lagoon.

The proposals for the tidal Lagoon are part of a wider government initiative which could result in the introduction of a further five lagoons in the UK. The breakwater proposed in the tidal Lagoon proposals would be six miles long and comprise of sixteen hydro turbines. As well as using 'cutting edge' technology, the Lagoon provides a year-round haven for outdoor sports protected from the open ocean.

Bassin de la Villette in Paris is the largest artificial lake in Paris and similarly to Bournemouth Coastal Park provides a range of activities including paddle boarding, inflatable sports courts and pedalos. A key success factor in Paris has been the integration of public realm improvements within the development to integrate the beach with the city and raise awareness of the area.



Photo Credit - Erasmus Paris - Available from www.flickr.com

View of Bassin de la Villette, Paris, showing water sport activities.



Photo Credit - Sylaf - Available from www.flickr.com

View of Bassin de la Villette, Paris, showing water sport activities.

4.5 Meanwhile Uses

As well as developing longer term proposals for Worthing Seafront, the Investment Plan will lead to the development of 'Meanwhile Uses' which can be installed in the short term to generate interest in the seafront and illustrate the longer term plans for the seafront.

The proposed 'Meanwhile Uses' could include;

- 'Pop Up' Cafes on Worthing Promenade
- Re-surfacing of pedestrian crossings
- Creating an Art Trail along the Seafront
- Re-Surfacing of the promenade
- Install new seating on the Seafront
- High quality seasonal concessions and winter markets



Photo Credit - Reflected Serendipity - Available from www.flickr.com

Bench installation by Studio Weave, Littlehampton.

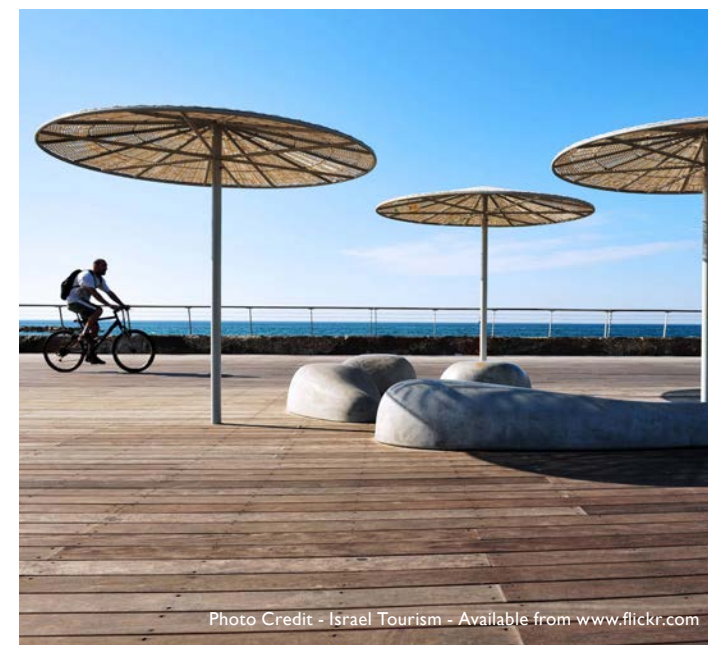


Photo Credit - Israel Tourism - Available from www.flickr.com

Tel Aviv Port regeneration, seating and street furniture.

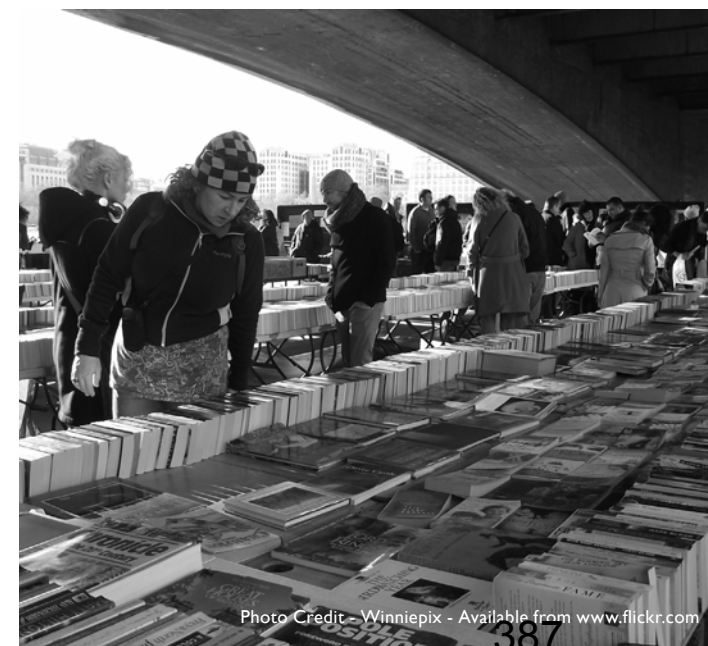


Photo Credit - Winniepix - Available from www.flickr.com

Bookstalls under Waterloo Bridge, London.



5.0 Funding and Delivery



5.0 Funding and Delivery

This section sets out how the package of options combined in the SIP can be funded and delivered. Successful realisation of the SIP will require partnership, coordination and investment from both the public and private sectors. An integrated approach is required to help ensure Worthing seafront has a coherent and high quality visual identity and visitor offering.

The SIP is intended to be feasible and actionable rather than excessively “visionary.” It recognises that significant further work will be required to develop the concepts it proposes into a comprehensive, agreed and funded investment programme. It also recognises that the proposed interventions will be phased over an extended period and that the SIP itself will need to be regularly revisited to ensure it remains relevant to Worthing’s changing needs.

Core to the approach set out in this section is that the majority of the required investment will need to come from commercial sources. With public budgets remaining constrained, the opportunity for subsidy for regeneration activity is likely to continue to be limited over the next decade.

This section sets out a proposed way forward for this future work programme for Worthing seafront, identifying:

- Key Stakeholders
- Delivery strategies
- Funding Opportunities
- An action plan covering all of the measures set out in section 4

5.1 Key Stakeholders

Numerous stakeholders will have an important role in the ongoing regeneration of Worthing seafront. These include:

- Worthing Borough Council – the Council acts as the overall coordinating body for the SIP, having a key role in helping, with other stakeholders, to set the overall vision for the area and providing management of public assets, such as the promenade and beach day-to-day. The Council is also the local planning authority with a statutory role to ensure development along the seafront aligns to the National Policy Planning Framework and Local Plan. Finally the Council is also a major landowner of key sites along the seafront, including of the Lido, Pier, Steyne Gardens and the Seafront Shelters.
- West Sussex County Council – the County Council, as the transport authority, is responsible for the maintenance and renewal of roads and footways along and around Worthing seafront, and provision of safety related street furniture. This includes the key highways and streets that feature in the recommendations in this strategy and the related Worthing Town Centre Public Realm Strategy, such as Marine Parade, The Steyne and Montague Place. The County and Borough Councils are committed to working as partners in the redevelopment of Worthing seafront and town centre.

- Concession holders and tenants – a number of seafront businesses operate under licence from Worthing Borough Council. At the major Council-owned sites, such as on the Pier and at the Lido, concessions are operated through licence and tenancy agreements with the Council. Future concession holders may be attracted to other sites discussed in the SIP, such as the Seafront Shelters.
- Developers – a number of private-sector developments are proposed along the seafront, including at the former Aquarena site, which was recently sold by the Council to a local property developer, Roffey Homes. Developers have a key role in the regeneration of Worthing seafront by providing access to private capital sources and bringing expertise in the successful delivery of complex, commercially focused projects.
- Community and heritage stakeholder groups – these local bodies, such as the Worthing Society, have an important role to play in representing the interests of the local residential community and ensuring that development of Worthing seafront takes account of heritage, conservation and cultural factors, and has the support of the local community.



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5.2 Delivery Strategies

The detailed delivery arrangements for each proposed measure will vary depending on who is the landowner, who is acting as the project sponsor, which funding sources are being sought, and the project procurement route. Common features are likely to include:

- Feasibility stage assessment. Work led by the project sponsor to identify the detailed design, and commercial and delivery plan for the project.
- Economic assessment. Where public funding is required for the project, undertaking an assessment of the benefits of the project to Worthing and the wider regional economy.
- Planning stage. Obtaining of any required statutory approvals for the project.
- Procurement stage. Commissioning of construction and wider redevelopment activity required for the project by the project sponsor.
- Commercial agreements. Negotiation and agreement of commercial arrangements for the project, e.g. via a concession or development agreement.

Relevant considerations for the Council where it is project sponsor in structuring the delivery strategy for each project will include:

- Long-term ownership of assets – whether the Council is the natural long-term freehold owner of the asset or whether alternative structures, such as a charitable trust structure or private-sector ownership, would make more sense.
- Risk transfer – who bears important development risks including planning and environmental approvals and construction risk.
- Financing arrangements – how far the Council raises finance required for the project as opposed to seeking private-sector sources of capital.
- Supply chain implications – implications of different delivery options on the local and small and medium enterprises supply chain of West Sussex and south east England more generally, and the impacts on social value of different options

that flow from this, consistent with the Social Value Act, 2012.

- Operating model – who bears responsibility for maintaining and operating the asset subsequently.

5.3 Funding Opportunities

The mixture and type of public and private funding will vary for each of the projects contained in the SIP. Potential options are discussed in this section. Focus is placed on capital funding options, however project sponsors will also require revenue support for early stage project feasibility work.

5.4 Grant funding.

A number of potential regional and national funding sources exist to support the renewal and upgrade of Worthing's seafront, including the Local Growth Fund, the Coastal Communities Fund (CCF) and National Lottery funds. Potential options are set out in the adjacent table.

Grant funding	Summary and potential offer	Target/area	Timescales to consider	Appropriate priority project
Growth Deals	<p>The Local Growth Fund (LGF) is allocated through Local Growth Deals agreed between the Government and individual LEPs</p> <p>Local Growth Deal Round 3 was announced in mid-2016. The timing of the next growth deal round is uncertain</p>	<p>The existing Growth Deal focuses on three key priority areas as identified in the Coast to Capital LEP's Strategic Economic Plan:</p> <ul style="list-style-type: none"> • Enhance business support and skills • Accelerate research and innovation • Invest in transport, flood defences and resilience 	TBC – uncertain if another LGF round will be available in this Parliament	Some of the “Big Ticket” items may be suitable for LGF funding
DfT LTP capital integrated transport and maintenance funding	<p>All local upper tier and unitary authorities receive grant funding from DfT, calculated on a formula basis, to support maintenance of highway assets and invest in integrated transport priorities</p> <p>This funding is being significantly reduced over the current Spending Review cycle</p>	Funds are reserved for transport projects	2017-2020	Potentially, changes to the configuration of Marine Parade in partnership with West Sussex County Council
Coastal Communities Fund	The Big Lottery Fund is delivering the CCF on behalf of the UK Government. At least £90 million of funding has been confirmed for the current round	The CCF aims to encourage the economic development of UK coastal communities by awarding funding to create sustainable economic growth and jobs	<p>Portions of this fund are set aside for development up to 2021</p> <p>Timing on the next round of CCF funding has yet to be confirmed</p>	<p>Regeneration of seafront structures</p> <p>Potentially, for a proportion of the “Big Ticket” items</p> <p>Potentially, upgrades to the public realm along the promenade</p>
National Lottery funds	<p>The Big Lottery Fund is responsible for distributing 40% of all the money raised for good causes by the National Lottery</p> <p>In the 2014-15 financial year, the organisation awarded more than £1 billion to projects with a social mission</p>	The objectives of each fund differ but each fund is designed to support community and/or charitable projects across the UK and Ireland	Timescales differ by relevant fund and are ongoing	Depends on fund applied for. Heritage Lottery Fund and Arts Council may be most suitable for SIP projects
Flooding and coastal erosion risk management funding	Central Government, via the Department for Environment, Food & Rural Affairs (DEFRA), DCLG and the Environment Agency provides grant funding to local authorities for flood defences and related projects	Funding is targeted on preventing flooding and coastal erosion	2017-2020	Worthing Lagoon and related developments



5.5 Local taxation

Worthing District Council's principal local taxation sources are Council Tax, paid by every household in the borough based on housing values, and National Non-Domestic Rates (NNDR) (commonly known as "business rates"), paid by businesses and other occupiers of non-domestic property in the town. The Council retains all Council Tax receipts and, since 2013, a proportion of NNDR receipts. A proportion of Council Tax receipts are earmarked through "precepting" authorities with jurisdiction in the borough, principally WSCC.

In other towns and cities around the UK and overseas, local property taxes have been used to fund civic investments. For example, in London a supplement is placed on Council Tax and NNDR to support the funding of Crossrail. In many US cities, a system called tax increment financing is used whereby forecast growth in local property taxation expected from a major civic project, such as a public realm improvement or transport investment, is earmarked to fund the upfront costs of funding that investment.

A form of tax increment financing is already active in Worthing via the "Business Improvement District" (BID) that exists in the town centre. Local businesses in the town centre and seafront have agreed to pay an additional levy through the BID to fund public realm, events and associated improvements in the area. There may be opportunities for the BID to make a greater contribution to upgrading the town centre and seafront, subject to approval by rate-paying businesses within the BID area.

5.6 Developer Contributions

Local authorities receive funding through developer contributions when third parties develop land in their area to provide for essential infrastructure and mitigate the negative impacts of development. The two main sources of developer contributions are Section 106 agreements and the Community Infrastructure Levy (CIL).

Section 106 agreements are private agreements made between local authorities and developers and can be attached to a planning permission to make acceptable development which would otherwise be unacceptable in planning terms. Section 106 agreements have helped to provide local infrastructure across Worthing over the last 25 years. The CIL was introduced in 2010. The levy is a local charge that local authorities can choose to apply on new developments in their area to fund infrastructure. Worthing Borough Council introduced the CIL in 2015.

For any major private-sector developments along the seafront, CIL and s106 contributions will help to support the upgrade of surrounding infrastructure such as public realm improvements. Along the seafront, these could include housing or hotel developments.

5.7 Commercial revenues

Worthing already receives income from commercial tenants of its assets along the seafront. The Council will look to take an overarching steward role to the assets it lets along the seafront in future to ensure the sum is greater than its parts. The potential also exists for the Council to extend the range of commercial lets along the seafront, including through further provision of active leisure facilities.

There may be other opportunities to raise commercial revenues along the seafront. For example, the cost of both of parking both on-street and in Council owned parking facilities is significantly lower than in some south coast communities, notably Brighton & Hove. While this provides benefits to local residents and minimises the risk that visitors will be discouraged from stopping in the town due to parking costs, there may be the opportunity for the Council to optimise parking revenues over the long-term to support investment in seafront projects. Any changes to parking policy will want to be considered on a holistic basis, including, as part of this, an assessment of options to mitigate socio-economic impacts on local communities.

5.8 Crowd funding

Crowd funding is the practice of funding a project or venture by raising monetary contributions from a large number of people, today often performed via internet-mediated registries. Crowd funding is a form of alternative funding, particularly to support projects or initiatives which have strong public stakeholder support but may fall outside of the remit of traditional funding streams such as public grants or local authority planning objectives. As such, crowd funding revenues are highly uncertain but have proven their value in a number of projects along the south coast in recent years such as the redevelopment of Hastings pier and the proposed reconstruction of the Madeira Terrace in Brighton & Hove.

5.9 Action Plan

The following table sets out the proposed way forward for delivering the key measures set out in Section 4 of the SIP. At this stage, no assessment has been undertaken of the costs of delivering these options.

Project	Funding Sources	Timeframe	Next steps (simplified)	Key Stakeholders
Worthing Pier and Marine Parade public realm Public-sector procurement	DfT grant funding Potentially, commercial receipts (parking)	Short term (0-3 years)	Commission concept designs for Marine Parade Business case development Agree funding arrangements	West Sussex County Council – transport authority, overall sponsor to project Worthing Borough Council – responsible for non-safety related street furniture, public realm upgrades
Pedestrian crossings along Marine Parade Public-sector procurement	DfT grant funding Potentially, commercial receipts (parking)	Short term (0-3 years)	Commission concept designs Business case development Agree funding arrangements	West Sussex County Council – transport authority, overall sponsor to project
Steyne Gardens public realm improvements Public-sector procurement	DfT grant funding Developer contributions National Lottery Funds	Medium term (3-5 years)	Commission concept designs Local Plan finalisation Business case development Agree funding arrangements	West Sussex County Council – transport authority, overall sponsor to project Worthing Borough Council – responsible for Steyne Gardens as public park and Local Plan
A new promenade Public-sector procurement	Local taxation, including possible Worthing BID contribution Developer contributions	Short term (0-3 years)	Assessment of precedents in other areas. Commission concept designs Agree funding arrangements	Worthing Borough Council – project sponsor with responsibility for public realm
Seafront Shelters Developer-led approach, Worthing Borough Council will award long-term lease to successful concessionaire following competition, who will be responsible for redevelopment and operations of site	Commercial concession	Medium term (3-5 years)	Structures study of Seafront Shelters to identify any site issues prior to tender Develop commercial structure (lease, ground rent etc) Statutory approvals, as required Invitation to tender to potential concession holders	Worthing Borough Council – project sponsor and freehold asset owner Concessionaire – development, maintenance and operations of pavilion assets

Project	Funding Sources	Timeframe	Next steps (simplified)	Key Stakeholders
Montague Place 'Boxpark' Developer-led approach as with "Seafront Shelters"	Commercial concession	Medium term (3-5 years)	Feasibility study of potential for Montague place to host Boxpark. Develop commercial structure Statutory approvals, as required Invitation to tender to potential concession holders	West Sussex County Council – asset owner Worthing Borough Council – project sponsor, in partnership with County Council Concessionaire - development, maintenance and operations of Boxpark.
Beach huts Developer-led approach as with "Seafront Shelters"	Commercial concession	Medium term (3-5 years)	Develop commercial structure Statutory approvals, as required Invitation to tender to potential concession holders	Worthing Borough Council – project sponsor and asset owner. Concessionaire - development, maintenance and operations of new beach huts
The Lido Primarily developer-led approach, however Worthing Borough Council will take initial role in developing detailed vision and redevelopment plan for Lido	CCF Big Lottery Funding Potentially, crowd sourcing Commercial concessions	Medium term (3-5 years)	Early stage feasibility study to identify detailed redevelopment plan, including commercial structure, potential uses, investment requirements Funding applications to grant bodies / establishing Crowd Sourcing website Clarification of existing concession arrangements and transition arrangements	Worthing Borough Council – asset owner, project sponsor Developer/Concessionaire – lead redevelopment of site and ongoing operations / maintenance of facility.
Worthing Pier Primarily developer-led approach, however Worthing Borough Council will take initial role in developing detailed vision and redevelopment plan for the Pier	CCF Big Lottery Funding Potentially, crowd sourcing Commercial concessions	Medium term (3-5 years)	Early stage feasibility study to identify detailed redevelopment plan, including commercial structure, potential uses, investment requirements Funding applications to grant bodies / establishing Crowd Sourcing website Clarification of existing concession arrangements and transition arrangements	Worthing Borough Council – asset owner, project sponsor Developer/Concessionaire – lead redevelopment of site and ongoing operations / maintenance of facility
Worthing Lagoon	TBC	Long term (5 years +)	Commission early stage feasibility assessment	Crown Estate – owner of UK seabed Environment Agency – responsible for coastal protection Worthing Borough Council – project sponsor, owner of foreshore

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